

CITY OF SOUTHGATE PLANNING COMMISSION AGENDA

MONDAY, October 13th, 2025

6:00 pm – Informal Planning Commission/Work Study Meeting

6:30 pm – Regular Planning Commission Meeting

I. CALL TO ORDER

II. ROLL CALL

Anderson, Clark, Codrington, Godbout, Moul, Nemeth, Orman, Wilson, Yoos

III. MINUTES

1. Minutes of regular Planning Commission meeting date September 8th, 2025

IV. ADMINISTRATIVE REPORTS

V. PUBLIC HEARINGS / NEW BUSINESS

1. Site Plan Review, 12790 Reeck
2. 11155 Allen PUD Approval Extension Recommendation

VI. OLD BUSINESS

VII. ANNOUNCEMENTS

1. Joint BZA & PC training, December 2025 (Time TBD)

VIII. ADJOURNMENT

City of Southgate

Planning Commission Meeting

September 8, 2025

This meeting of the Planning Commission was held in the Municipal Council Chambers, 14400 Dix-Toledo Highway, Southgate, Michigan on Monday, September 8, 2025 and called to order by Chairman James Yoos, at 6:30 p.m.

PRESENT: James Yoos, Linda Clark, Leticia Wilson, Chad Godbout, Mark Nemeth, Patricia Anderson, Andrew Moul, Eric Codrington (arrived at 6:35 p.m.)

ABSENT: Jerry Orman (excused)

ALSO PRESENT: City Planner Joe Pezzotti, Building Inspections Director Tim Leach, City Administrator Dan Marsh, City Attorney, Amelia Zelenak, Council Member Priscilla Ayres-Reiss

Minutes:

Moved by Nemeth, supported by Godbout, that the minutes of the Planning Commission Meeting dated July 14, 2025 be approved. MOTION APPROVED UNANIMOUSLY.

Administrative Reports:

Southgate towers project is moving along. Possible opening on building in late Fall.

Public Hearings/New Business:

1. T & G Downriver Inc., Conditional Use Review, 13760 Eureka Road, Renovate existing building to be used as a family style dine-in restaurant. PC 07-2025

We are in receipt of a conditional use application for the above-mentioned property. The applicant intends to utilize and renovate the existing building to be used as a family style dine-in restaurant. The scope of work included in the application consists of interior renovations to accommodate approximately eighty (80) guests, parking lot and landscaping improvements, and updated signage. No outdoor dining is proposed. The site is zoned C-2, General Business, where sit-down restaurants with no outdoor dining are listed as a conditional use in the district. There are several issues for the applicant to review, we recommend to return to the next meeting with revised plans.

A PUBLIC HEARING WAS HELD FOR T & G DOWNRIVER, INC., CONDITIONAL USE REVIEW, 13760 EUREKA ROAD, RENOVATE EXISTING BUILDING TO BE USED AS A FAMILY STYLE DINE-IN RESTAURANT.

Notices were sent out.

Move by Anderson, supported by Wilson, to open the Public Hearing.

The applicant stated they are requesting to renovate the existing building. They are just now talking with contractors for the project. Will have revised plans for the next meeting.

No public comments were received.

Moved by Wilson, supported by Anderson, to close the Public Hearing.

Moved by Anderson, supported by Codrington, to refer to the next meeting of the Planning Commission, from T & G Downriver Inc., Conditional Use Review, 13760 Eureka Road, for revised plans. PC 07-2025.

MOTION APPROVED UNANIMOUSLY.

Old Business:

1. Master Plan Update.

Discussion held. Will have more information at the next meeting.

Announcements:

None.

Adjournment:

Moved by Nemeth, supported by Clark, that this meeting of the Planning Commission be adjourned at 6:47 p.m. MOTION APPROVED UNANIMOUSLY.

James Yoos
Chairman, Planning Commission
as

RETURN TO:

Clerk's Office
City of Southgate
14400 Dix-Toledo
Southgate, MI 48195

Form No. 01

Case No. PC

Date Received

08.2025

8.20.25

(9-5-2025) MK

CITY OF SOUTHGATE APPLICATION FOR PLANNING COMMISSION REVIEW

Concerning a request to be heard before the Southgate Planning Commission on the following:

TO BE COMPLETED BY THE APPLICANT:

Owner/Applicant			Agent		
Name <u>Southgate Superior Hospitality, LLC</u>			Triumph Engineering & Design, Inc. Andy Andre, P.E.		
Address <u>985 W. Entrance Drive</u>			Address <u>10775 S. Saginaw St, Suite B</u>		
<u>Auburn Hills</u> (City)	<u>MI</u> (State)	<u>48326</u> (Zip)	<u>Grand Blanc</u> (City)	<u>MI</u> (State)	<u>48439</u> (Zip)
Telephone <u>Amar George 248-419-5558</u>			Telephone <u>810-444-7815</u>		

Information regarding the site:Street Address: Vacant parcel

(12790 Reeck Rd)

Major Cross Streets: Reeck Rd. & Northline Rd.Parcel / Lot No.: Part of 53-004-99-0005-706Acreage: 2.75 acres Dimensions of Parcel / Lot: Refer to Plan Frontage: 357.76-feetCurrent Zoning (please circle): RE R-1 R-1A R-1B RM RO C-1 C-2 C-3 **M-1** MH PD P-1Current Use: Vacant

Hotel Overlay District

Requested action:☐ Rezoning

Requested District: _____

☐ Conditional Use Approval

Requested Use: _____

☒ Site Plan Review☐ Plat Review☐ Other

Please Specify _____

Information regarding request:

I hereby request a hearing before this body to:

(Please supply detailed information. For example, why you are requesting the proposed action, a complete description of the project, how the request is compatible with adjacent land uses and zoning districts, how the request is in compliance with the goals, policies, and future land use plan of the City of Southgate Master Plan, any information you feel is pertinent to your application, etc. Feel free to attach additional documents to this application if it will help describe your project or if you need more room than is provided below.)

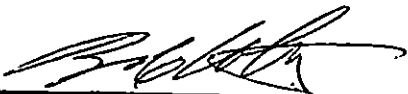
Homewood Suites hotel with 104 guest rooms and associated drives and parking.

A SKETCH CLEARLY DEPICTING THE REQUEST MUST BE ATTACHED TO THIS APPLICATION FOR IT TO BE VALID. FOR SITE PLAN REVIEW, A SITE PLAN MEETING THE REQUIREMENTS OF SECTION 1298.07 MUST BE ATTACHED.

The Applicant / Agent must appear before the Planning Commission on _____
(Date)

THE OWNER OF THE PROPERTY DESCRIBED ON THIS APPLICATION AND THAT ALL STATEMENTS HEREIN AND IN THE DOCUMENTS SUBMITTED ARE TRUE.

Signature -- Owner / Agent:



Date:

9/3/25

Bob White / Owner Representative

To review your application properly, Planning Commission members may need access to the property in question. Please initial if permission is given for property access. INITIALS _____

Fees must be paid at the same time this application is submitted to the City.

OFFICE USE:

Date Received: _____

Received By: _____
(Staff's Name)

Fee Charged: _____

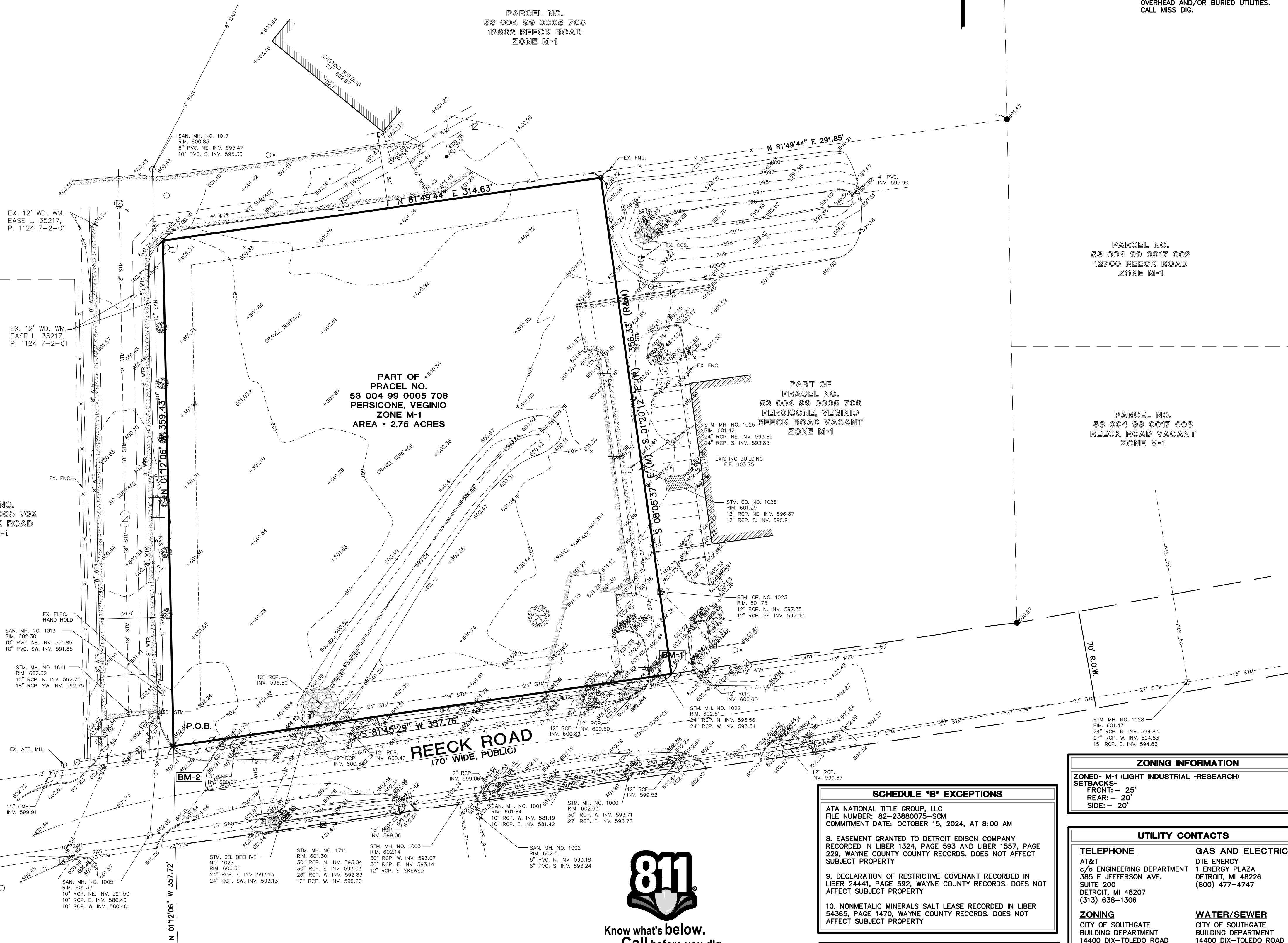
Check No.: _____

Receipt No.: _____

W. 1/4, COR.
SECTION 23
T3S-R10E

ALLEN ROAD
WEST SECTION LINE

PARCEL NO.
53 004 99 0005 702
12888 REECK ROAD
ZONE M-1



SOUTH SECTION LINE
N 88°47'54\"

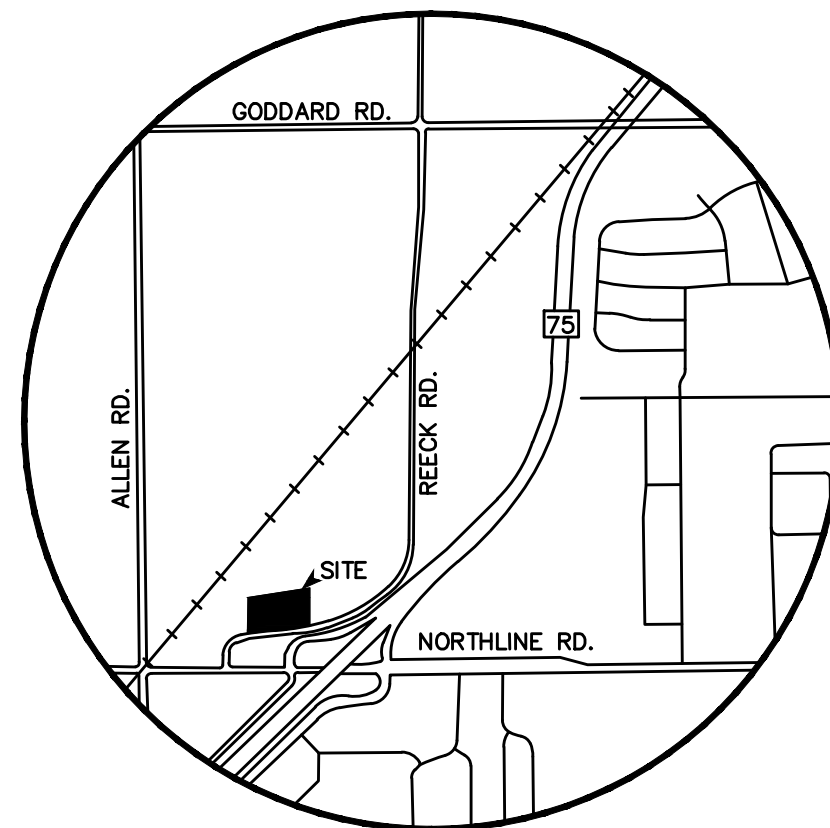
NORTHLINE ROAD

D&M SITE INC.
Surveying • Inspection • Testing • Engineering
401 BALSAM STREET PO BOX 159, CARROLLTON, MICHIGAN 48724
PHONE (989) 752-6500 • FAX (989) 752-6600

UTILITY INFORMATION, AS SHOWN, INDICATES APPROXIMATE LOCATIONS AND TYPES OF FACILITIES ONLY, AS DISCLOSED TO THIS FIRM BY THE VARIOUS UTILITY COMPANY'S RECORDS. NO GUARANTEE IS GIVEN OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF.

PRIOR TO CONSTRUCTION, ALL LOCATIONS AND DEPTHS OF EXISTING OVERHEAD AND UNDERGROUND UTILITIES (IN CONFLICT WITH THE CONSTRUCTION OF PROPOSED IMPROVEMENTS) SHALL BE VERIFIED IN THE FIELD.

DURING CONSTRUCTION, CONTRACTOR SHALL USE EXTREME CAUTION WHEN OPERATING NEAR OVERHEAD AND/OR BURIED UTILITIES. CALL MISS DIG.



LOCATION MAP
NOT TO SCALE

PARCEL NO.
53 004 99 0017 002
12700 REECK ROAD
ZONE M-1

PARCEL NO.
53 004 99 0017 003
REECK ROAD VACANT
ZONE M-1

SURVEY LEGEND

●	MONUMENT / SECTION CORNER
○	FOUND PROPERTY IRON
○	SET PROPERTY IRON
○	EXISTING CATCHBASIN
○	EXISTING MANHOLE/CATCHBASIN
○	EXISTING MANHOLE
○	EXISTING HYDRANT
○	EXISTING VALVE
○	EXISTING SANITARY SEWER
○	EXISTING STORM SEWER
○	EXISTING WATERMAIN
○	EXISTING FENCE LINE
○	EXISTING UNDERGROUND ELECTRIC LINE
○	EXISTING UNDERGROUND GAS LINE
○	EXISTING UNDERGROUND TELEPHONE LINE
○	EXISTING CENTERLINE
○	EXISTING OVERHEAD ELECTRICAL WIRES
○	EXISTING MAILBOX / NEWSPAPER BOX
○	EXISTING SIGN
○	EXISTING DECIDUOUS TREES
○	EXISTING CONIFEROUS TREES
○	EXISTING UTILITY POWER POLE
○	EXISTING TELEPHONE RISER

BENCHMARKS

B.M. #1 - FLANGE BOLT ON HYD UNDER "E" IN "MADE".
EAST OF RANGE USA DRIVE.
NAVD 88 ELEV. 604.53
B.M. #2 - UNDER "W" IN "EJW" @ SW PROP. COR.
NAVD 88 ELEV. 603.02

FLOODPLAIN INFORMATION

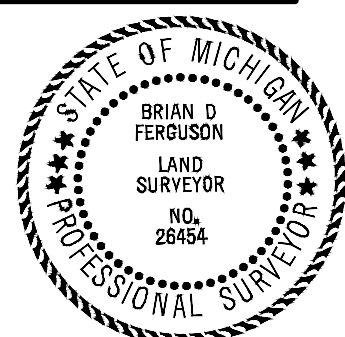
CITY OF SOUTHGATE
WAYNE COUNTY, MICHIGAN
MAP NUMBER: 26163C0403E
EFFECTIVE DATE: 02-02-2012
FLOOD ZONE: X
AREA OF MINIMAL FLOOD HAZARD

FURNISHED DESCRIPTION

ATA NATIONAL TITLE GROUP, LLC
FILE NUMBER: 82-23880075-SCM
COMMITMENT DATE: OCTOBER 15, 2024, AT 8:00 AM
THE LAND IS DESCRIBED AS FOLLOWS: SITUATED IN THE CITY OF SOUTHGATE, COUNTY OF WAYNE, STATE OF MICHIGAN.
PART OF SOUTHWEST 1/4 OF SECTION 23, TOWN 3 SOUTH, RANGE 10 EAST, CITY OF SOUTHGATE, WAYNE COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE SOUTHWEST CORNER OF SECTION 23, TOWN 3 SOUTH, RANGE 10 EAST; THENCE NORTH 88 DEGREES 47 MINUTES 54 SECONDS EAST 1039.19 FEET ALONG THE SOUTH LINE OF SAID SECTION 23; THENCE NORTH 01 DEGREES 12 MINUTES 06 SECONDS WEST 357.72 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 01 DEGREES 12 MINUTES 06 SECONDS WEST 359.43 FEET; THENCE NORTH 81 DEGREES 49 MINUTES 44 SECONDS EAST 314.63 FEET; THENCE SOUTH 01 DEGREE 12 MINUTES 06 SECONDS EAST 356.33 FEET; THENCE ALONG THE NORTHERLY RIGHT OF WAY LINE OF REECK ROAD (70 FEET WIDE) SOUTH 81 DEGREES 45 MINUTES 29 SECONDS WEST 357.76 FEET TO THE POINT OF BEGINNING, BEING A PART OF THE SOUTHWEST 1/4 OF SECTION 23, TOWN 3 SOUTH, RANGE 10 EAST.

CERTIFICATION

I, BRIAN D FERGUSON A PROFESSIONAL SURVEYOR, BEING DULY LICENSED BY THE STATE OF MICHIGAN, DO HEREBY CERTIFY THAT I HAVE CAUSED THE PROPERTY HEREON SHOWN, TO BE SURVEYED AND MAPPED IN ACCORDANCE WITH ALL LOCAL AND STATE ACCEPTED PRACTICES FOR THE ACCURACY OF A SURVEY OF THIS TYPE. I ALSO CERTIFY THAT THE EXISTING CONDITIONS OF THE PROPERTY ARE AS SHOWN HEREON.
BRIAN D FERGUSON, PS #4901026454 01/08/2025
DATE



ZONING INFORMATION

ZONED- M-1 LIGHT INDUSTRIAL -RESEARCH-
SETBACKS-
FRONT- 25'
REAR- 20'
SIDE- 20'

UTILITY CONTACTS

TELEPHONE AT&T 6/6 ENGINEERING DEPARTMENT 385 E JEFFERSON AVE. SUITE 200 DETROIT, MI 48207 (313) 638-1306	GAS AND ELECTRIC DTE ENERGY 1 ENERGY PLAZA DETROIT, MI 48226 (800) 477-4747
ZONING CITY OF SOUTHGATE BUILDING DEPARTMENT 14400 DIV-TOLEDO ROAD SOUTHGATE, MICHIGAN 48195 (734) 258-3030	WATER/SEWER CITY OF SOUTHGATE BUILDING DEPARTMENT 14400 DIV-TOLEDO ROAD SOUTHGATE, MICHIGAN 48195 (734) 258-3030

UTILITY NOTE

THE UTILITY LOCATIONS AS HEREON SHOWN ARE BASED ON FIELD OBSERVATIONS AND A CAREFUL REVIEW OF MUNICIPAL AND UTILITY RECORDS. HOWEVER, IT IS NOT POSSIBLE TO DETERMINE THE PRECISE SIZE, LOCATION, DEPTH, PRESSURE, OR ANY OTHER CHARACTERISTICS OF UNDERGROUND UTILITIES, TANKS OR SEPTIC TANKS WITHOUT EXCAVATION. THEREFORE, WE CANNOT GUARANTEE THE ACCURACY OF COMPLETENESS OF THE BURIED UTILITY INFORMATION HEREON SHOWN. THE CONTRACTOR SHALL CALL MISS DIGG (1-800-482-7171) A MINIMUM OF THREE WORKING DAYS PRIOR TO ANY EXCAVATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THESE UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND MAKE EVERY EFFORT TO PROTECT AND/OR RELOCATE THEM AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/SURVEYOR AS SOON AS POSSIBLE IN THE EVENT A DISCREPANCY IS FOUND.

SCHEDULE "B" EXCEPTIONS

ATA NATIONAL TITLE GROUP, LLC
FILE NUMBER: 82-23880075-SCM
COMMITMENT DATE: OCTOBER 15, 2024, AT 8:00 AM
8. EASEMENT GRANTED TO DETROIT EDISON COMPANY, RECORDED IN LIBER 24441, PAGE 593 AND LIBER 1557, PAGE 229, WAYNE COUNTY COUNTY RECORDS. DOES NOT AFFECT SUBJECT PROPERTY
9. DECLARATION OF RESTRICTIVE COVENANT RECORDED IN LIBER 24441, PAGE 592, WAYNE COUNTY RECORDS. DOES NOT AFFECT SUBJECT PROPERTY
10. NONMETALLIC MINERALS SALT LEASE RECORDED IN LIBER 54365, PAGE 1470, WAYNE COUNTY RECORDS. DOES NOT AFFECT SUBJECT PROPERTY

AS SURVEYED DESCRIPTION

PART OF SOUTHWEST 1/4 OF SECTION 23, TOWN 3 SOUTH, RANGE 10 EAST, CITY OF SOUTHGATE, WAYNE COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE SOUTHWEST CORNER OF SECTION 23, TOWN 3 SOUTH, RANGE 10 EAST; THENCE NORTH 88 DEGREES 47 MINUTES 54 SECONDS EAST 1039.19 FEET ALONG THE SOUTH LINE OF SAID SECTION 23; THENCE NORTH 01 DEGREES 12 MINUTES 06 SECONDS WEST 357.72 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 01 DEGREES 12 MINUTES 06 SECONDS WEST 359.43 FEET; THENCE NORTH 81 DEGREES 49 MINUTES 44 SECONDS EAST 314.63 FEET; THENCE SOUTH 01 DEGREE 12 MINUTES 06 SECONDS EAST 356.33 FEET; THENCE ALONG THE NORTHERLY RIGHT OF WAY LINE OF REECK ROAD (70 FEET WIDE) SOUTH 81 DEGREES 45 MINUTES 29 SECONDS WEST 357.76 FEET TO THE POINT OF BEGINNING, CONTAINING 2.75 ACRES, MORE OR LESS, SUBJECT TO ANY AND ALL EASEMENTS AND/OR RIGHTS-OF-WAY, WHETHER USED, IMPLIED OR OF RECORD.



TRIUMPH

Triumph Engineering
& Design, Inc.

10775 S. SAGINAW ST.
SUITE D
GRAND BLANC, MI 48439
(PH) 810.584.7364
(F) 810.584.7362

PREPARED UNDER THE DIRECTION OF:
ANDREW ANDRE, P.E.
MI #47380

APPLICANT:
SOUTHGATE SUPERIOR HOSPITALITY, LLC
2400 AUBURN RD, SUITE 240
AUBURN HILLS, MI 48326

HOMEWOOD SUITES
by Hilton

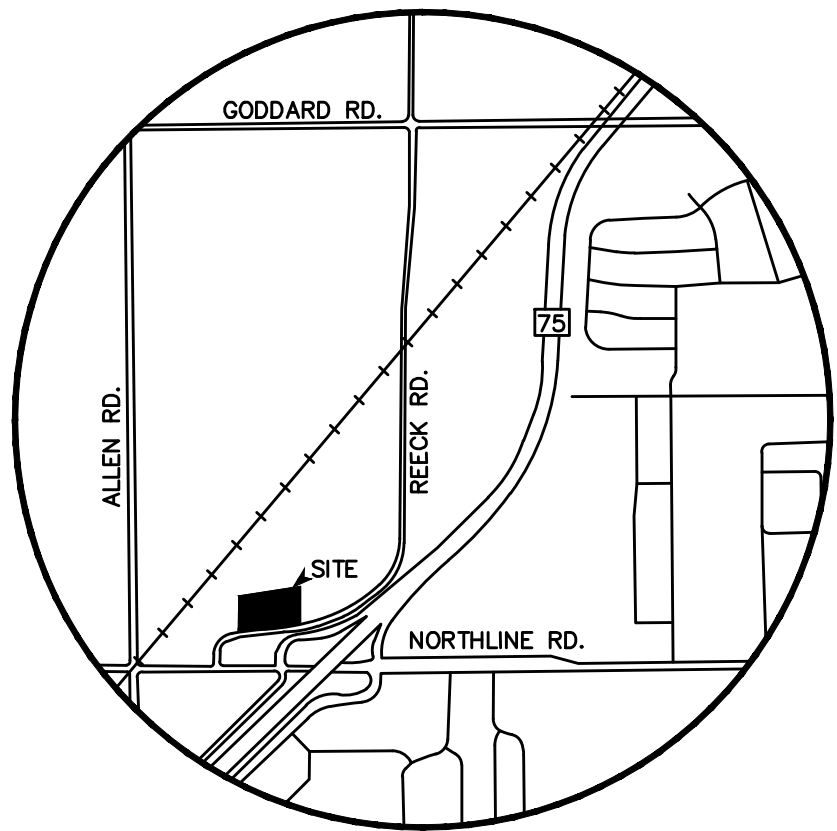
HOMEWOOD SUITES
REECK ROAD
CITY OF SOUTHGATE, WAYNE COUNTY, MICHIGAN

WE CERTIFY THAT THESE PLANS, SPECIFICATIONS, AND CALCULATIONS WERE PREPARED BY US OR UNDER OUR CLOSE PERSONAL SUPERVISION AND THAT WE ARE A LICENSED PROFESSIONAL SURVEYOR IN THE STATE OF MICHIGAN. WE FURTHER CERTIFY THAT WE HAVE CAUSED THE PROPERTY HEREON SHOWN, TO BE SURVEYED AND MAPPED IN ACCORDANCE WITH ALL LOCAL AND STATE ACCEPTED PRACTICES FOR THE ACCURACY OF A SURVEY OF THIS TYPE. I ALSO CERTIFY THAT THE EXISTING CONDITIONS OF THE PROPERTY ARE AS SHOWN HEREON.
BRIAN D FERGUSON, PS #4901026454 01/08/2025
DATE

ISSUED FOR	DATE
SPA	08/18/2025

DATE:	
DRAWN BY: ACA	
CHECKED BY: ACA	
SCALE: 1"=40'	
JOB NO: TE-25-152	
SHEET TITLE:	
SURVEY PLAN	

SHEET
C2.0



LOCATION MAP
NOT TO SCALE

GENERAL NOTES

- REFER TO ARCHITECTURAL PLANS TO VERIFY BUILDING DIMENSIONS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE ALL PERMITS AND POST ALL BONDS PRIOR TO CONSTRUCTION, OR ENSURE THAT ALL REQUIRED PERMITS AND BONDS HAVE BEEN OBTAINED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING MISS-DIG AT 1-800-482-7171 AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATION.
- THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. ALL UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED WITH LIKE MATERIAL. THE EXACT LOCATION OF EXISTING UTILITIES SHALL BE LOCATED BY HAND DIGGING.
- DIMENSIONS ARE TO FACE OF CURB, OUTSIDE FACE OF BUILDING, EDGE OF PAVEMENT, CENTER OF STRUCTURE OR OTHERWISE INDICATED.
- ALL PAVING MATERIALS AND OPERATIONS SHALL BE IN CONFORMANCE WITH THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION.
- PARKING STALL SPACES TO BE 4" DOUBLE SOLID WHITE PAINT STRIPES, HANDICAP PARKING TO BE 4" DOUBLE SOLID BLUE PAINT STRIPES W/ BARRIER FREE STRIPPING OF 4" SOLID BLUE @ 2' O.C. ON 45° ANGLE.
- ALL WORK SHALL CONFORM TO THE CITY OF SOUTHGATE STANDARDS AND SPECIFICATIONS.
- CONCRETE COLLARS SHALL BE PLACED AROUND ALL MANHOLES AND GATE VALVES LOCATED WITHIN THE PARKING AREA.

SITE INFORMATION

ZONING:
M-1 LIGHT INDUSTRIAL
HOTEL OVERLAY DISTRICT

PROPERTY:
GROSS AREA = XXX ACRES
NET AREA = XXX ACRES

SETBACKS:
FOLLOWING C-2 ZONING PER 1289.05
FRONT: 25-FOOT
REAR: 20-FOOT

PARKING DATA:
REQUIRED:
1 SPACE PER ROOM PLUS 1 SPACE PER EACH 10 OCCUPANCY UNITS PLUS PARKING FOR ACCESSORY USE
REQUIRED = 114 ROOMS / 1 = 114 SPACES
REQUIRED = 114 ROOMS / 11 = 11 SPACES
TOTAL REQUIRED = 125 SPACES
NEW PARKING PROVIDED
ACCESSIBLE SPACES (8'x19') = 5
STANDARD SPACES (10'x19') = 126
TOTAL = 131 SPACES

LOADING / UNLOADING:
LOADING/UNLOADING SPACE IS MINIMAL DUE TO THE LIMITED AMOUNT OF DELIVERIES AND TYPICAL DELIVERY TIME NOT CAUSING CONFLICT WITH VEHICULAR CIRCULATION AND TRAFFIC.

PAVEMENT INFORMATION

	BITUMINOUS PAVEMENT
	CONCRETE PAVEMENT
	STAMPED CONCRETE / BRICK PAVERS

TRAFFIC CONTROL SIGN TABLE	
DESCRIPTION	MMUTCD
STOP	R1-1
HANDICAP	R7-8
HANDICAP (VAN)	R7-8P
NO PARKING FIRE LANE	R8-31

ALL TRAFFIC SIGNAGE SHALL COMPLY WITH THE CURRENT MMUTCD STANDARDS

811
Know what's below.
Call before you dig.

0' 30' 60' 90'
SCALE: 1" = 30'

TRIUMPH
Triumph Engineering & Design, Inc.
10775 S. SAGINAW ST.
SUITE D
GRAND BLANC, MI 48439
(PH) 810.584.7364
(F) 810.584.7362

STATE OF MICHIGAN
ANDREW ANDRE
No. 6201047380
LICENSED PROFESSIONAL ENGINEER

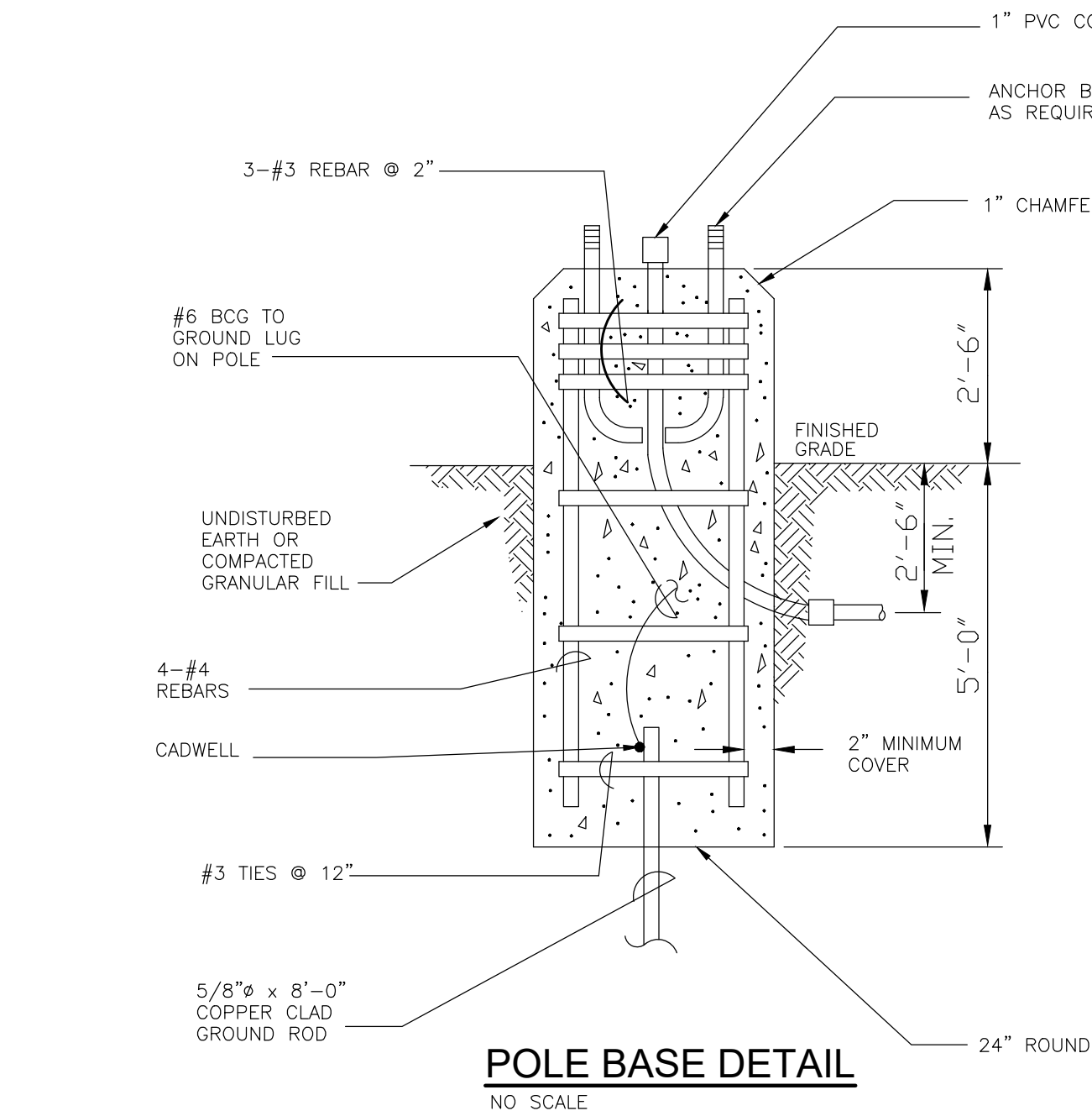
PREPARED UNDER THE DIRECTION OF:
ANDREW ANDRE, P.E.
MI #47380

APPLICANT:
SOUTHGATE SUPERIOR HOSPITALITY, LLC
2600 AUBURN RD, SUITE 240
AUBURN HILLS, MI 48326

HOMEWOOD SUITES
REECK ROAD
CITY OF SOUTHGATE, WAYNE COUNTY, MICHIGAN

THIS PLAN AND ANY OTHER DOCUMENTS OR INSTRUMENTS PREPARED BY OR FOR THE ENGINEER OR ARCHITECT ARE THE PROPERTY OF THE ENGINEER OR ARCHITECT AND SHALL REMAIN THE PROPERTY OF THE ENGINEER OR ARCHITECT. NO PART OF THIS PLAN OR ANY OTHER DOCUMENTS OR INSTRUMENTS PREPARED BY OR FOR THE ENGINEER OR ARCHITECT SHALL BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER OR ARCHITECT.

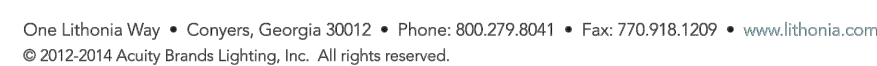
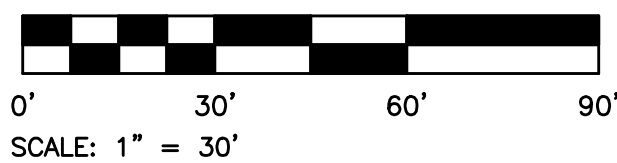
ISSUED FOR	DATE
SPA	08/18/2025
DATE:	
DRAWN: ACA	
CHECKED: ACA	
SCALE: 1"=30'	
JOB NO: TE-25-152	
SHEET TITLE:	
SITE LAYOUT AND PAVING PLAN	
SHEET	
C3.0	



NO SCALE

AVERAGE	MAXIMUM	MINIMUM
1.1 FC	7.3 FC	0.0 FC

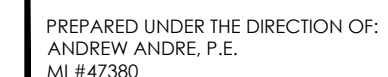
Know what's **below**.
Call before you dig.



SHEET
C3.1



10775 S. SAGINAW ST.
SUITE D
GRAND BLANC, MI 48439
(PH) 810.584.7364
(F) 810.584.7362

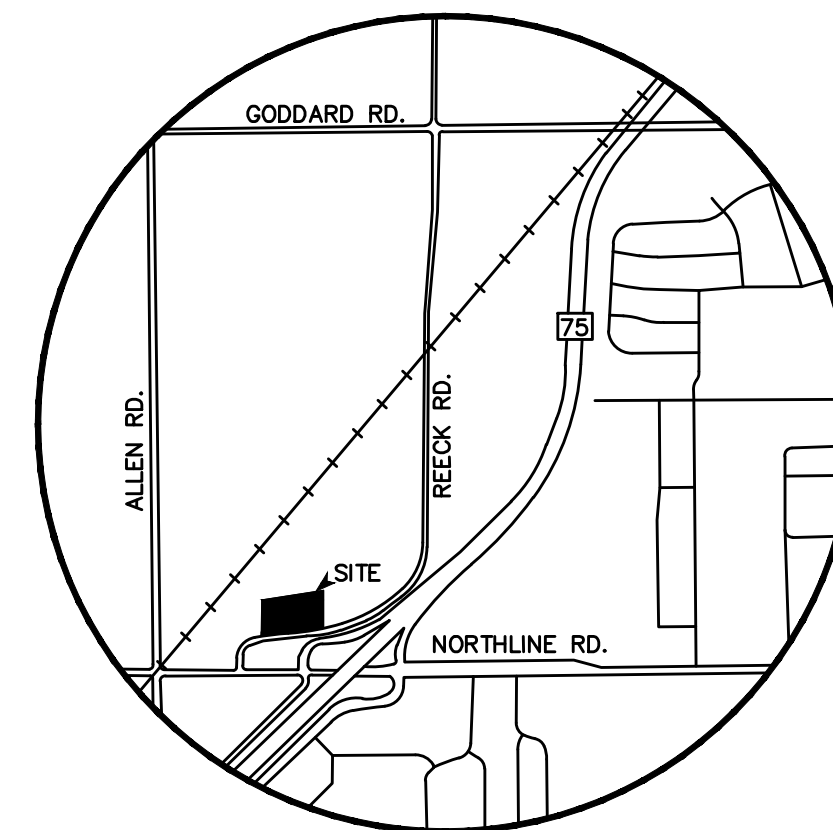
HOMewood
SUITES by Hilton™

HOMEWOOD SUITES
BREECK ROAD
CITY OF SOUTHGATE, WAYNE COUNTY, MICHIGAN

[illegible]

DATE :
DRAWN : ACA
CHECKED : ACA
SCALE : 1"=30'
JOB NO : TE-25-152
SHEET TITLE :
GRADING PLAN

SHEET
C4.0



LOCATION MAP
NOT TO SCALE

GRADING NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF SOUTHGATE AND MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.
2. SPOT ELEVATIONS INDICATE TOP OF PAVEMENT UNLESS OTHERWISE INDICATED:
TC = TOP OF CURB
TP = TOP OF PAVEMENT
3. CURB AND GUTTER LEGEND

(S)	= STANDARD CURB AND GUTTER
(R)	= REVERSE SLOPE CURB AND GUTTER
(T)	= 5' TRANSITION FROM STANDARD TO REVERSE
(E)	= CURB END TRANSITION
(G)	= GUTTER PAN
4. REFER TO LANDSCAPE PLAN FOR LANDSCAPE TREATMENT AND PLACEMENT.

BENCHMARKS

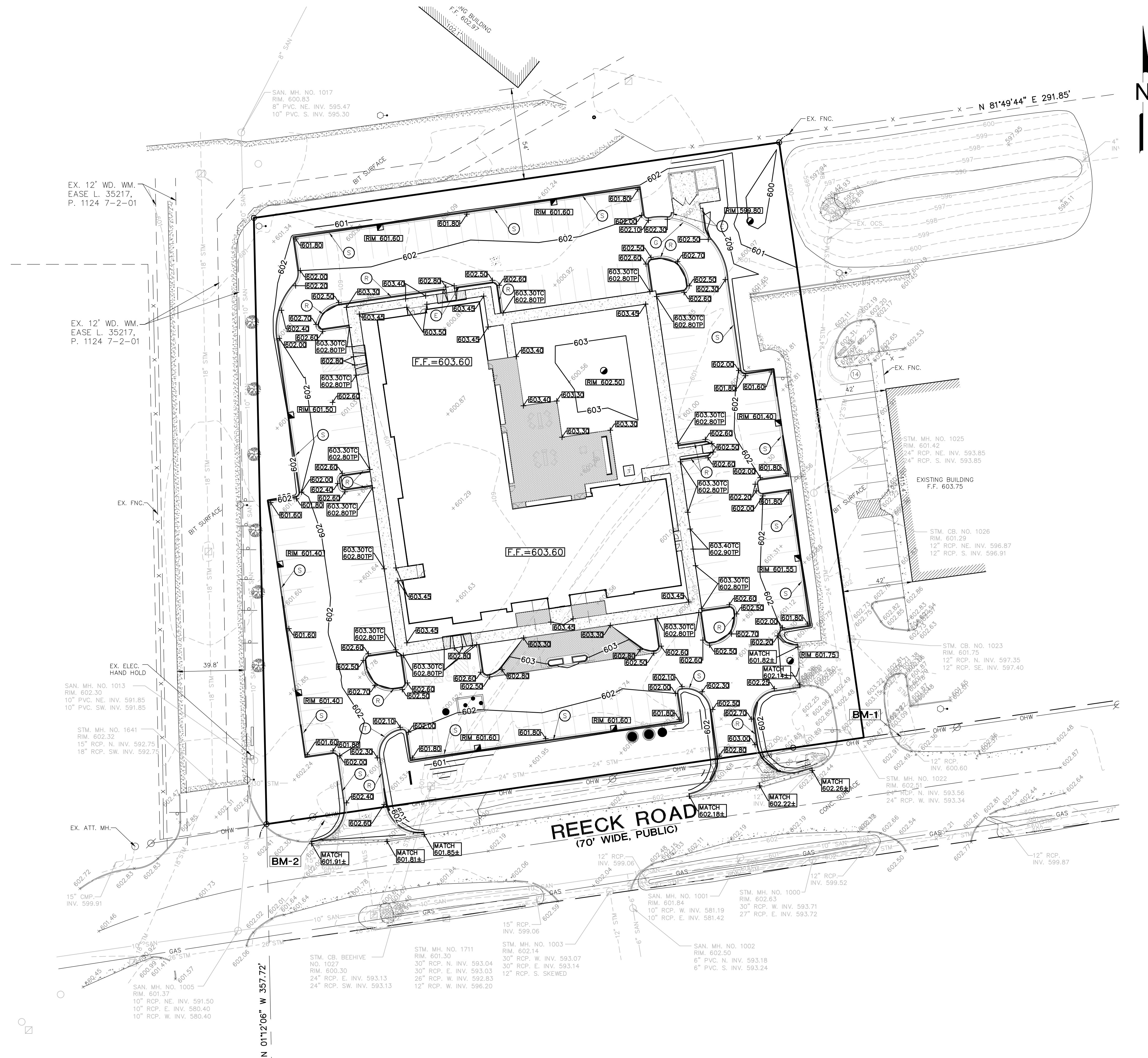
B.M. #1 - FLANGE BOLT ON HYD UNDER "E" IN "MADE".
EAST OF RANGE USA DRIVE.

NAVD 88 ELEV. 604.53
B.M. #2 - UNDER "W" IN "EJIW" @ SW PROP. COR.

NAVD 88 ELEV. 603.02

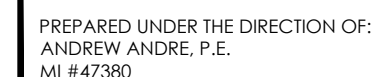


Know what's **below**.
Call before you dig.





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SUITE D
GRAND BLANC, MI 48439
(PH) 810.584.7364
(F) 810.584.7362



HOMewood
SUITES by Hilton™

HOMEWOOD SUITES
REECK ROAD
CITY OF SOUTHGATE, WAYNE COUNTY, MICHIGAN

[illegible]

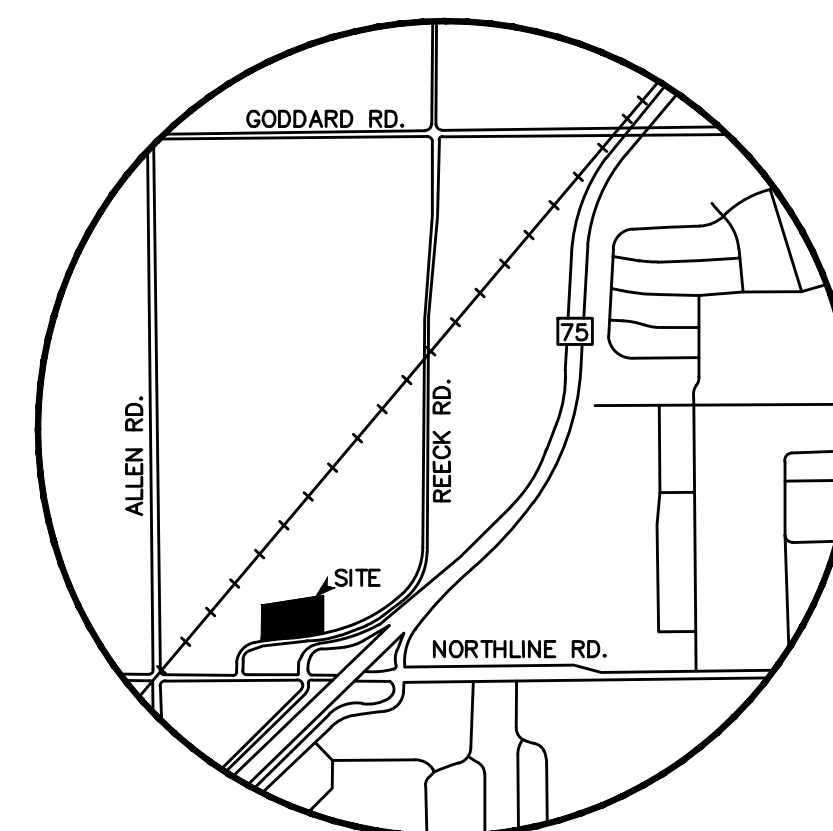
ISSUED FOR	DATE
SPA	08/18/202

DATE :
DRAWN : ACA
CHECKED : ACA
SCALE : 1"=10'
JOB NO : TE-25-152

SHEET TITLE :
ENLARGED GRADING
PLAN - NORTH

SHEET

C4.1



LOCATION MAP
NOT TO SCALE

GRADING NOTES

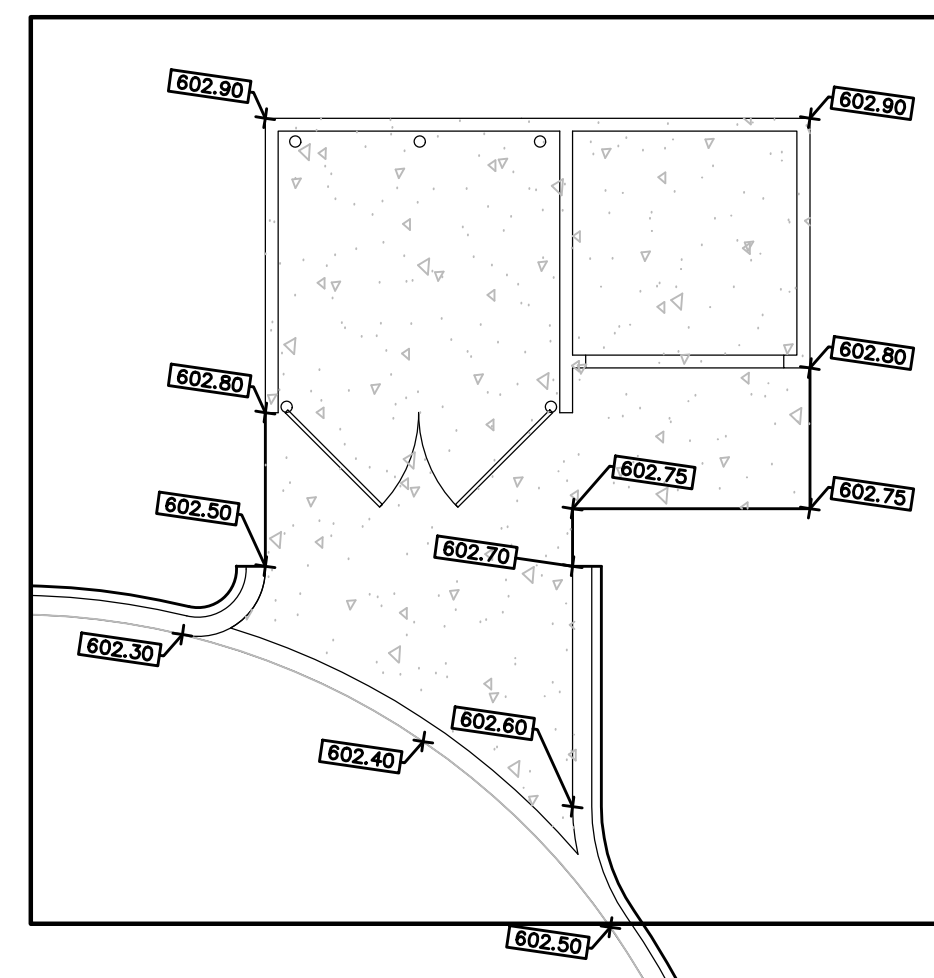
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF SOUTHGATE AND MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.
2. SPOT ELEVATIONS INDICATE TOP OF PAVEMENT UNLESS OTHERWISE INDICATED:
TC = TOP OF CURB
TP = TOP OF PAVEMENT
3. CURB AND GUTTER LEGEND

(S)	= STANDARD CURB AND GUTTER
(R)	= REVERSE SLOPE CURB AND GUTTER
(T)	= 5' TRANSITION FROM STANDARD TO REVERSE
(E)	= CURB END TRANSITION
(G)	= GUTTER PAN
4. REFER TO LANDSCAPE PLAN FOR LANDSCAPE TREATMENT AND PLACEMENT.

BENCHMARKS

B.M. #1 - FLANGE BOLT ON HYD UNDER "E" IN "MADE".
EAST OF RANGE USA DRIVE.
NAVD 88 ELEV. 604.53

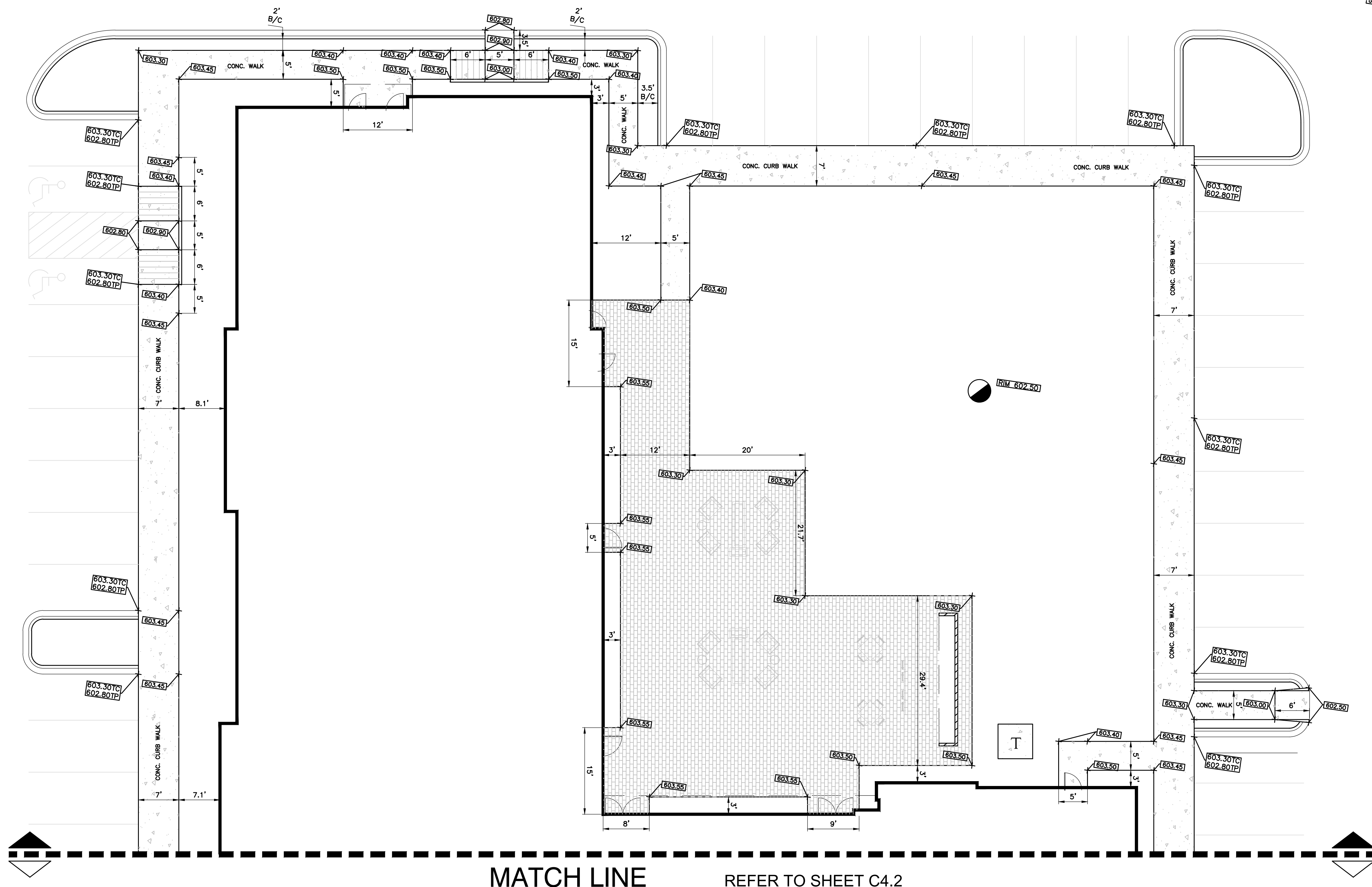
B.M. #2 - UNDER "W" IN "EJIW" @ SW PROP. COR.
NAVD 88 ELEV. 603.02



DUMPSTER ENCLOSURE DETAIL
SCALE: 1"=10'



Know what's **below**.
Call before you dig.

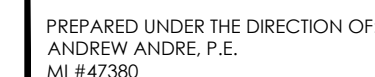


MATCH LINE

REFER TO SHEET C4.2



10775 S. SAGINAW ST.
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APPLICANT:
SOUTHGATE SUPERIOR HOSPITALITY, LLC
2600 AUBURN RD, SUITE 240
AUBURN HILLS, MI 48326

HOMewood
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HOMEWOOD SUITES
REECK ROAD
CITY OF SOUTHGATE, WAYNE COUNTY, MICHIGAN

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9 5843066 HATHL 365400 522 Q

ISSUED FOR	DATE
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DATE :
DRAWN : ACA
CHECKED : ACA
SCALE : 1"=10'
JOB NO : TE-25-152

SHEET TITLE :
ENLARGED GRADING
PLAN - SOUTH

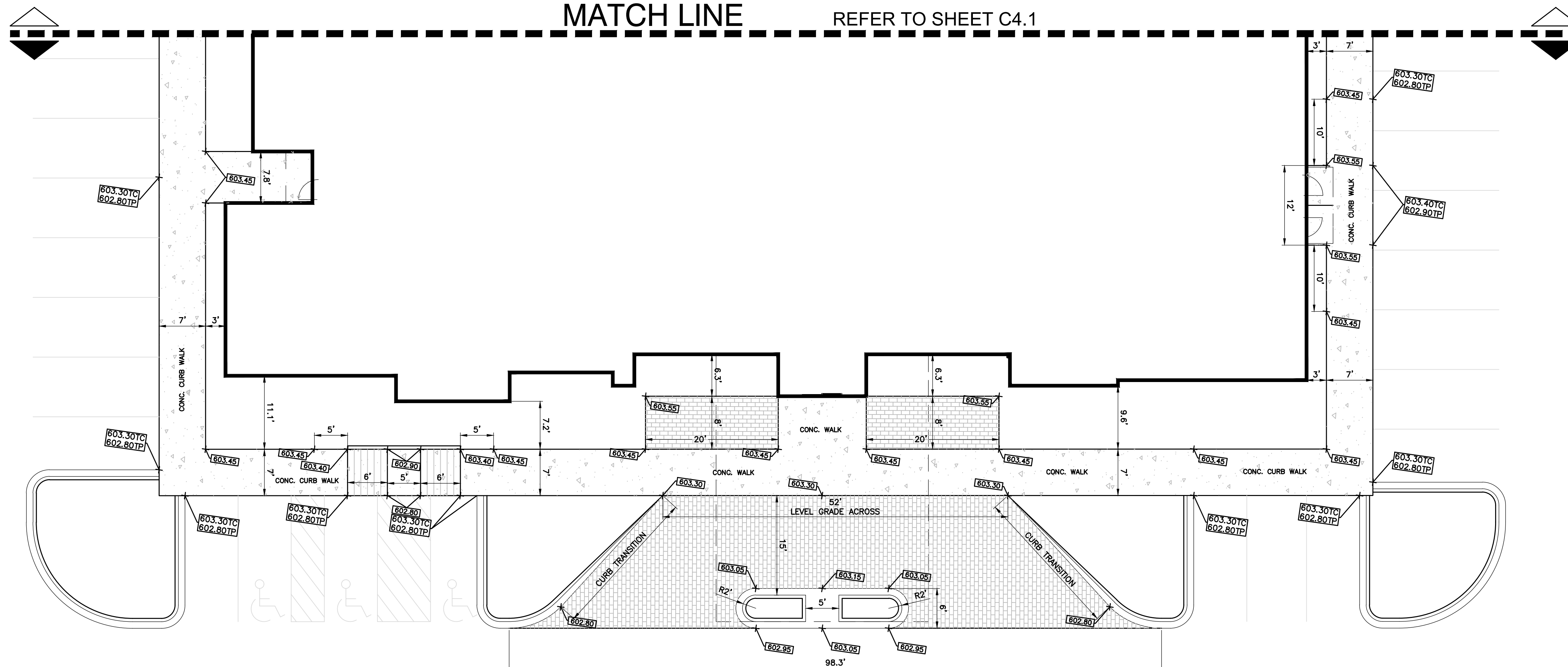
SHEET

C4.2



MATCH LINE

REFER TO SHEET C4.1



GRADING NOTES

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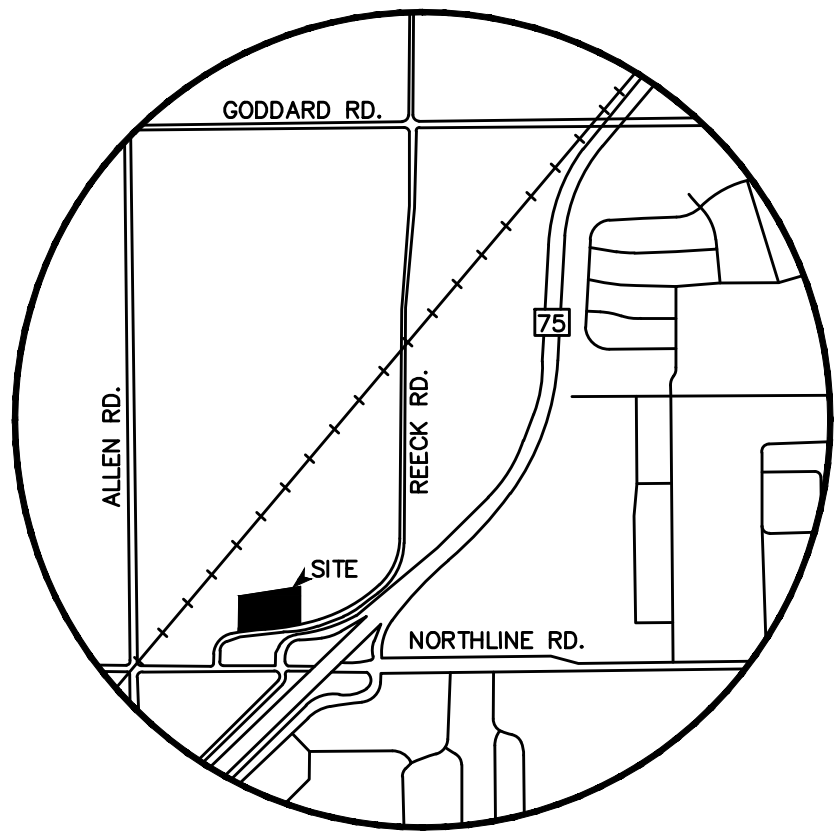
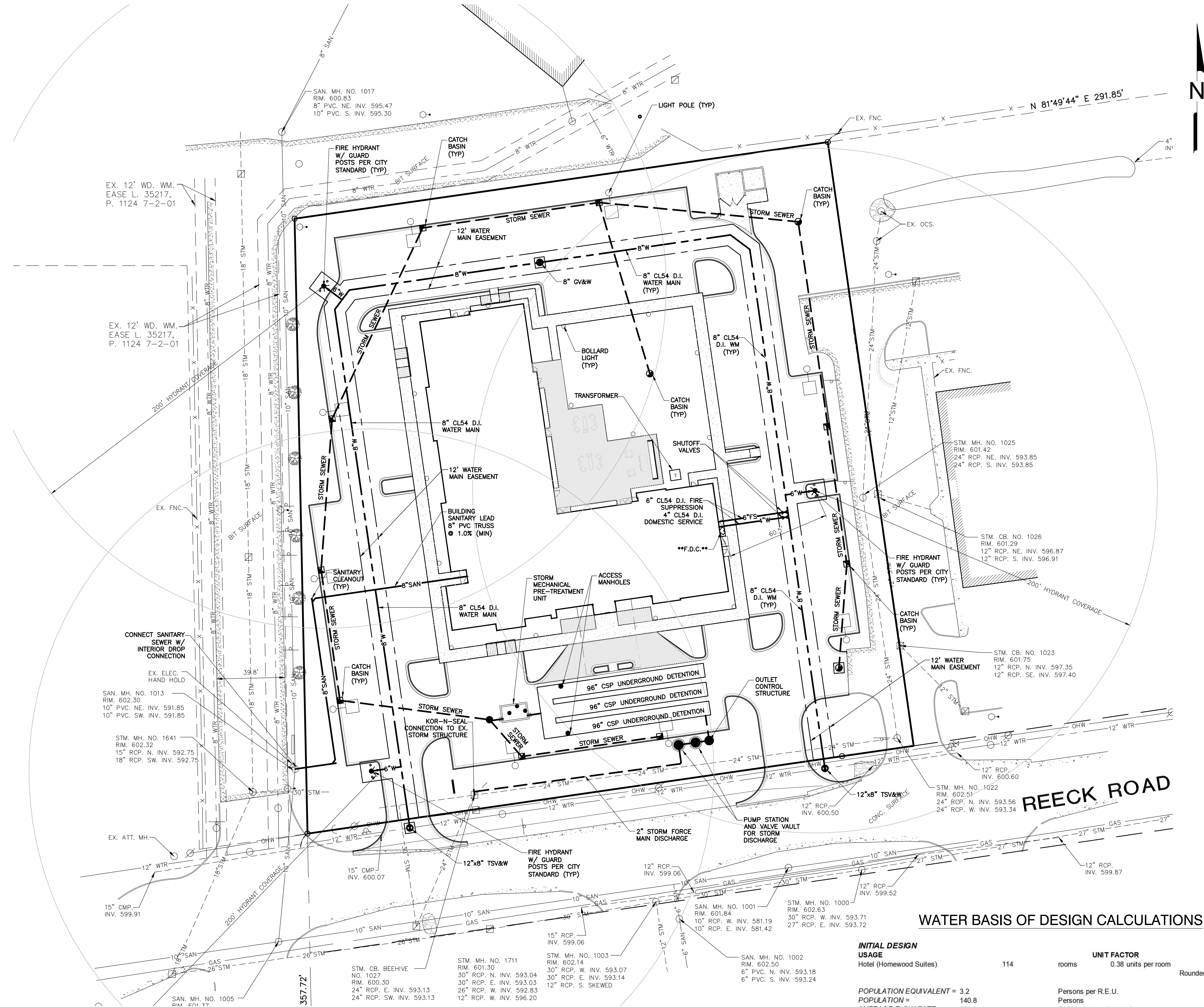
Know what's **below**.
Call before you dig.



0' 10' 20' 30'

SCALE: 1" = 10'





LOCATION MAP
NOT TO SCALE

UTILITY NOTES

- ALL WORK MUST BE DONE IN ACCORDANCE WITH CURRENT STANDARDS, SPECIFICATIONS AND GENERAL CONDITIONS OF THE CITY OF SOUTHGATE.
- SHOP DRAWINGS SHALL BE SUBMITTED BY THE UNDERGROUND CONTRACTOR FOR ALL SANITARY, WATER AND STORM INSTALLATION.
- CONTRACTOR SHALL SUBMIT RECORD "AS-BUILT" PLANS AFTER CONSTRUCTION.
- MAINTAIN A MINIMUM HORIZONTAL SEPARATION BETWEEN WATER SERVICE AND ANY OTHER UTILITY OF 10'-FEET. THE MINIMUM VERTICAL CLEARANCE BETWEEN A WATER MAIN AND A SEWER SHALL BE 18-INCHES.
- NO GROUNDWATER, STORM WATER, CONSTRUCTION WATER, DOWNSPOUT DRAINAGE OR WEEP TILE DRAINAGE SHALL BE ALLOWED TO ENTER ANY SANITARY SEWER INSTALLATION.
- REFER TO PLUMBING PLANS TO VERIFY BUILDING UTILITY CONNECTION LOCATIONS. SITE UTILITY LOCATIONS TO TERMINATE 5' OUTSIDE OF BUILDING.
- SANITARY CLEANOUT ASSEMBLIES SHALL BE IN ACCORDANCE WITH THE CITY OF SOUTHGATE STANDARDS AND DETAILS.
- THE LOCATION AND SIZE OF THE FRANCHISE UTILITY SERVICES SHALL BE DESIGNED AND INSTALLED BY THE UTILITY COMPANY.
- MAINTAIN 6" MIN. DEPTH OF BURY TO FINISHED GRADE FOR WATER MAIN AND WATER SERVICE.
- CONTRACTOR RESPONSIBLE FOR ALL REPAIRS TO EXISTING ROADWAYS AS A RESULT OF CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND ELEVATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ALL FINDINGS TO THE ENGINEER.
- CONCRETE COLLARS SHALL BE PLACED AROUND ALL MANHOLES AND GATE VALVES LOCATED WITHIN THE PARKING AREA.
- REFER TO CITY OF SOUTHGATE WATER MAIN DETAILS FOR HYDRANT GUARD POST LAYOUT AND DETAILS.
- WATER MAIN SHALL BE WRAPPED WITH POLY-WRAP OF A MINIMUM THICKNESS OF 4-MILS.



TRIUMPH

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& Design, Inc.

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(PH) 810.584.7364
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PREPARED UNDER THE DIRECTION OF:
ANDREW ANDRE, P.E.
MI #47380

APPLICANT:
SOUTHGATE SUPERIOR HOSPITALITY, LLC
2600 AUBURN RD, SUITE 240
AUBURN HILLS, MI 48326

HOMWOOD SUITES
by IHG

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CITY OF SOUTHGATE, WAYNE COUNTY, MICHIGAN

THIS PLAN AND ANY INSTRUMENTS OF SERVICE HERETO SHALL BE THE PROPERTY OF THE ENGINEER AND SHALL REMAIN HIS OR HER PROPERTY. THE ENGINEER SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PLAN. THE ENGINEER SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PLAN. THE ENGINEER SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PLAN.

WATER BASIS OF DESIGN CALCULATIONS

INITIAL DESIGN			
USAGE	AREA	UNIT FACTOR	R.E.U.
Hotel (Homewood Suites)	114	rooms 0.38 units per room	43.32
			Rounded= 44.00
POPULATION EQUIVALENT = 3.2			
POPULATION = 140.8			
AVERAGE FLOW RATE = 90			
AVERAGE FLOW = 12,672.00			
PEAK FACTOR = 18 + SQRT(P) / 4 + SQRT (P)			
PEAK FLOW = 53,220.24			
ULTIMATE DESIGN			
USAGE	AREA	UNIT FACTOR	R.E.U.
Staybridge Suites (Existing)	118	rooms 0.38 units per room	44.84
Atwell Suites (Proposed)	120	rooms 0.38 units per room	45.60
			Rounded= 91.00
POPULATION EQUIVALENT = 3.5			
POPULATION = 318.5			
AVERAGE FLOW RATE = 90			
AVERAGE FLOW = 28,665.00			
PEAK FACTOR = 18 + SQRT(P) / 4 + SQRT (P)			
PEAK FLOW = 116,587.55			

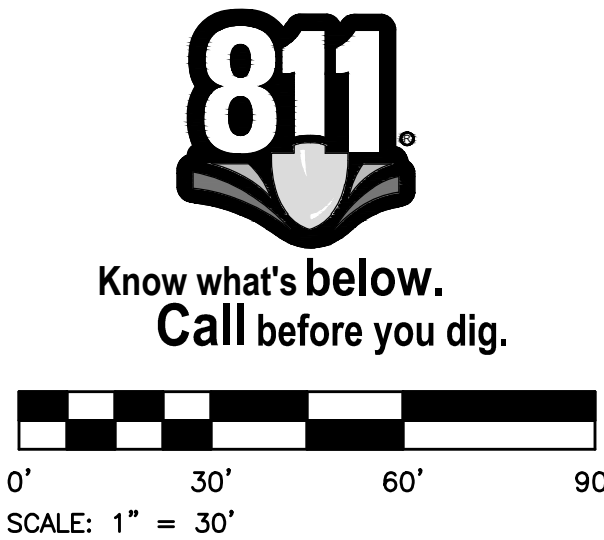
SANITARY USE CALCULATIONS

USAGE	UNIT FACTOR	R.E.U.
Hotel (Homewood Suites)	114 rooms 0.38 units per room	43.32
		Rounded= 44.00
POPULATION EQUIVALENT = 3.2		
POPULATION = 140.8		
AVERAGE FLOW RATE = 90		
AVERAGE FLOW = 12,672.00		
PEAK FACTOR = 18 + SQRT(P) / 4 + SQRT (P)		
PEAK FLOW = 53,220.24		
Persons per R.E.U.		
Persons		
Gallons per capita per day		
GPD		
= 4.20		
GPD = 0.080 CFS 8" @ 1.0% (cfs) = 1.57		

PRIVATE UTILITY NOTE

NO PRIVATE UTILITIES SHALL BE PLACED OVER ANY WATER AND/OR SANITARY SEWER LEADS. ANY PRIVATE UTILITIES, WHICH ARE PLACED OVER AND/OR NEAR TO THE SERVICES, SHALL BE RELOCATED AT THE OWNER'S EXPENSE. THIS SHALL INCLUDE, BUT NOT LIMITED TO, THE ACTUAL SERVICE LINES (ELECTRICAL, GAS, TELEPHONE, AND CABLE), AS WELL AS ELECTRICAL TRANSFORMERS, TELEPHONE PEDESTALS, AIR CONDITIONERS AND POWER GENERATORS. ANY PRIVATE UTILITIES OR APPURTENANCES SHALL BE RELOCATED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE CITY.

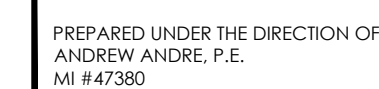
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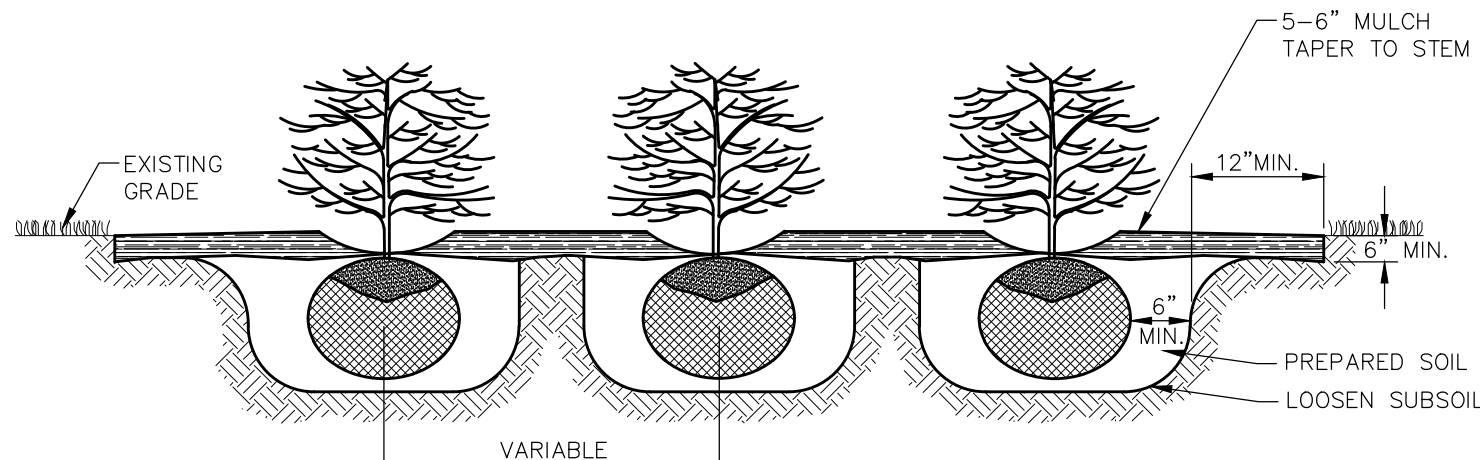
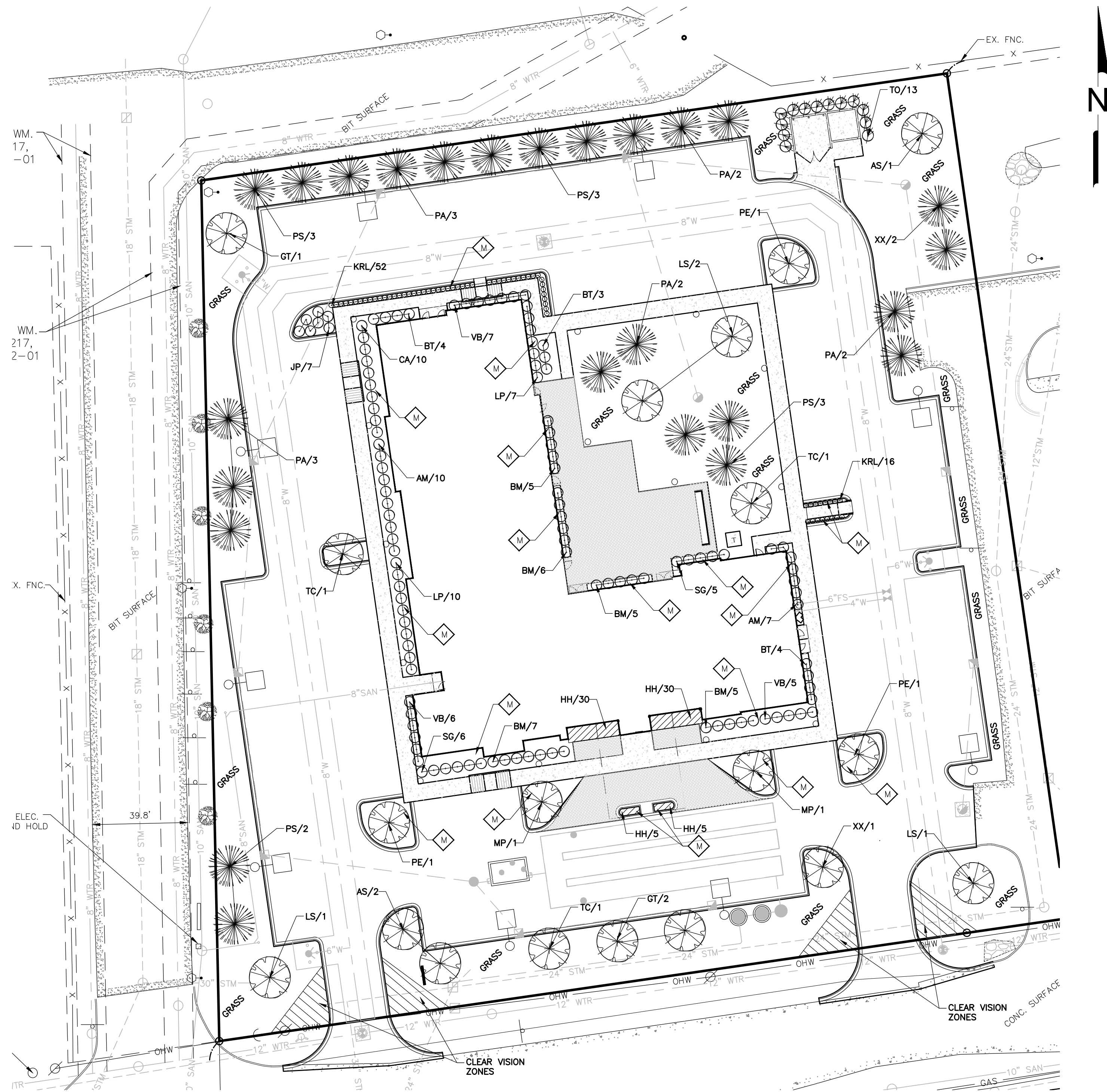
WHILE EVERY ATTEMPT HAS BEEN MADE TO PRODUCE BETTER DOCUMENTS, THE RESPONSIBILITY OF THE SUBSCRIBER AND THE CLERK TO IDENTIFY ALL ISSUES, INCLUDING DOCUMENTS THAT ARE OUT OF SEQUENCE AND PREVIOUS DOCUMENTS, REMAINS. THE RESPONSIBILITY OF THE SUBSCRIBER AND THE CLERK TO IDENTIFY ALL ISSUES, INCLUDING DOCUMENTS THAT ARE OUT OF SEQUENCE AND PREVIOUS DOCUMENTS, REMAINS. THE RESPONSIBILITY OF THE SUBSCRIBER AND THE CLERK TO IDENTIFY ALL ISSUES, INCLUDING DOCUMENTS THAT ARE OUT OF SEQUENCE AND PREVIOUS DOCUMENTS, REMAINS.

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SHEET

C6.1

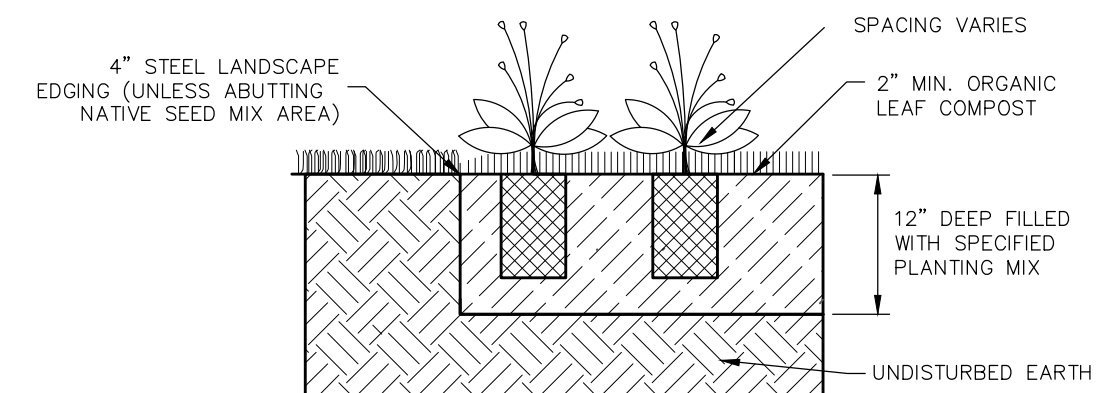




—FIRST AND SECOND WATERING AND CULTIVATION SHALL INCLUDE SHRUB BEDS.
 —CUT 6" X 12" (MIN.) EDGING AROUND THE PERIMETER OF ALL SHRUB BEDS SHOWN ON THE PLANS. SPRAY A NON-PERSISTANT GLYPHOSATE HERBICIDE TO ENTIRE SHRUB BEDS PRIOR TO PLANTING AND BARK PLACEMENT.
 —SHRUB BEDS ARE TO BE PAID FOR BY THE PAY ITEM 'SITE PREPARATION'.
 —ALL PLANTS SHALL BE SET PLUMB AND HAVE THE BEST SIDE OF PLANT FACING THE MAIN VIEWING DIRECTION.

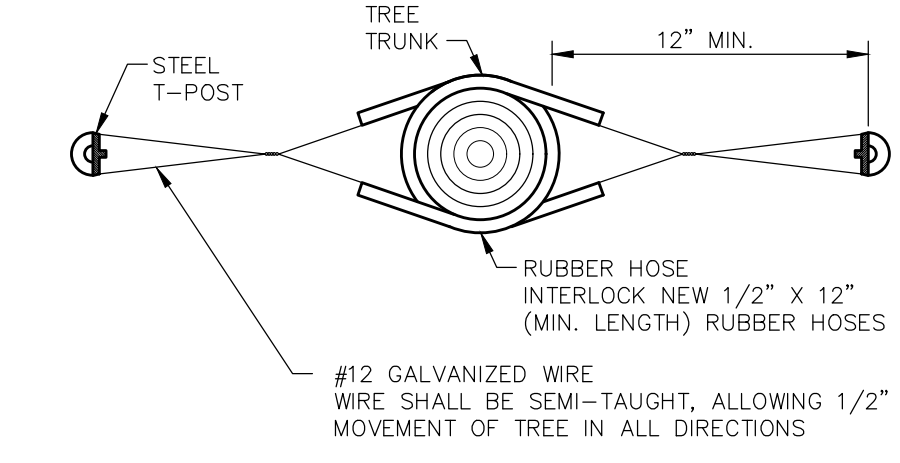
SHRUB BED DETAIL

SCALE: NONE



PERENNIAL PLANTING BED

SCALE: NONE



BRACING DETAIL

SCALE: NONE

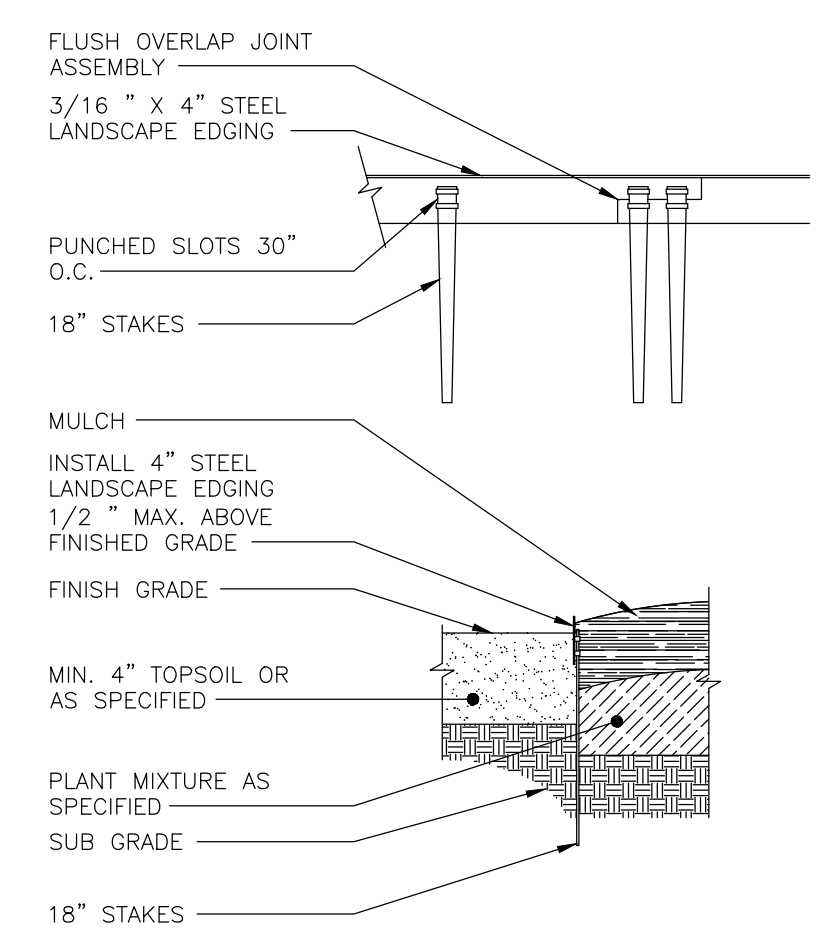
QUANTITY	KEY	BOTANICAL NAME	COMMON NAME	SIZE
PERENNIAL PLANTINGS				
70	HH	HEMERCALUS HYPERION	HYPERION DAYLILY	2YD#2CONT
68	KRL	CALAMGROSIS X ACUTIFOLIA 'KARL FORSTER'	KARL FORSTER'S REED GRASS	3 GAL CONT
DECIDUOUS TREES				
3	GT	GLEDITSIA T.I. 'SKYLINE'	SKYLINE HONEYLOCUST	2-1/2" B&B
3	TC	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LINDEN	2-1/2" B&B
3	AS	ACER SACCHARUM 'GREEN MOUNTAIN'	GREEN MOUNTAIN SUGAR MAPLE	2-1/2" B&B
3	PE	PLANTUS X EXCLAMATION	LONDON PLANETREE	2-1/2" B&B
4	LS	LIQUIDAMBAR STYRACIFLUA	AMERICAN SWEETGUM	2-1/2" B&B
2	MP	MALUS 'PRAIRIEFIRE'	PRAIRIEFIRE CRABAPPLE	2" B&B
EVERGREEN TREES				
13	TO	THUJA OCCIDENTALIS 'MISSION'	TECHNY ARBORVITAE	4" HT
11	PS	PINUS STROBUS	EASTERN WHITE PINE	6" HT
12	PA	PICEA ABIES	NORWAY SPRUCE	6" HT
SHRUBS				
18	VB	VIBURNUM DENTATUM 'BLUE MUFFIN'	BLUE MUFFIN ARROWWOOD VIBURNUM	24" B&B
17	LP	SPIRAEA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIRAEA	24" B&B
11	SG	SPIRAEA JAPONICA 'GOLDFLAME'	GOLDFLAME SPIRAEA	24" B&B
17	AM	ARONIA MELANOCARPA 'AUTUMN MAGIC'	AUTUMN MAGIC BLACK CHOKEBERRY	24" B&B
10	CA	CEANOTHUS AMERICANUS	NEW JERSEY TEA	24" B&B
28	BM	BUXUS MICROPHYLLA JAPONICA 'WINTER GEM'	WINTER GEM BOXWOOD	24" B&B
11	BT	BERBERIS THUNBERGII ATROPURPUREA	CRIMSON PYGMY BARBERRY	24" B&B
7	JP	J. CHINENSIS 'PFITZERANA'	PFITZER JUNIPER	24" B&B

LANDSCAPE REQUIREMENTS

LANDSCAPE OPEN AREA (ORDINANCE 1298.09C)
 NOT LESS THAN 10% OF PARCEL AS LANDSCAPE OPEN SPACE
 AREA OF DEVELOPMENT = 2.75 AC = 119,790 S.F.
 REQUIRED LANDSCAPE OPEN SPACE = 11,979 S.F.
 PROPOSED LANDSCAPE OPEN SPACE = 35,852 S.F.
 % LANDSCAPE OPEN SPACE = 35,852 / 119,790 = 30%

KEY NOTES

- SHREDDED BARK MULCH

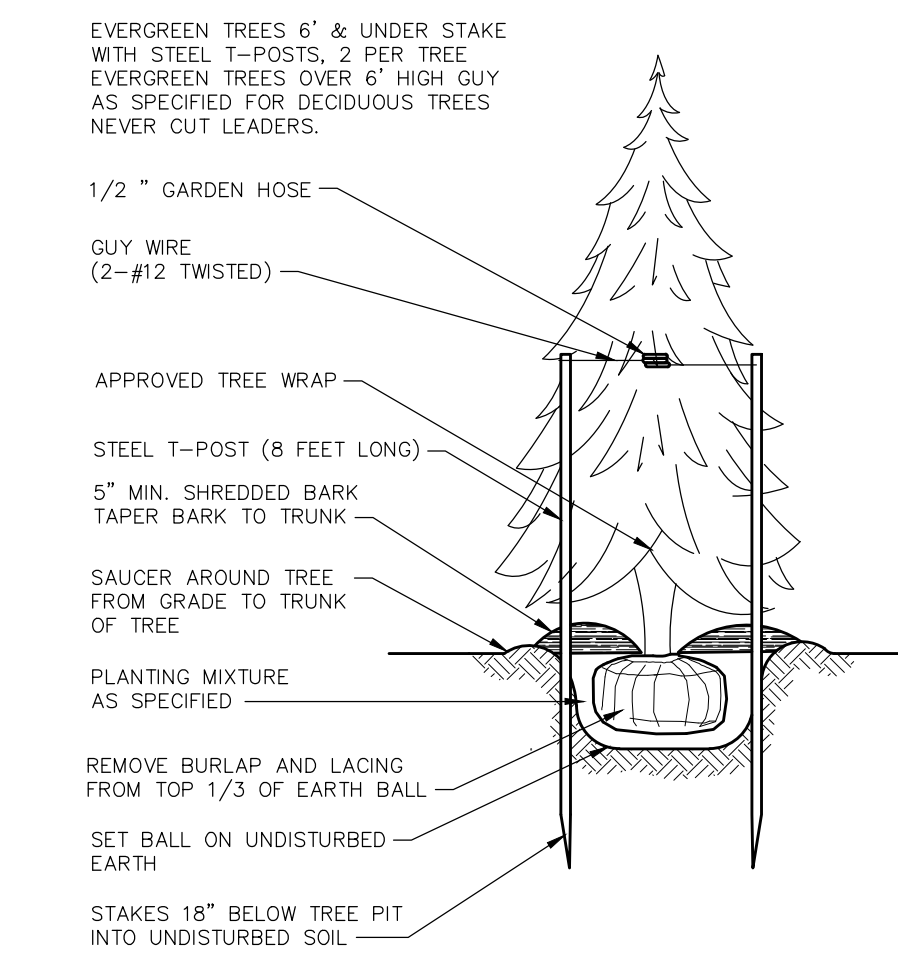


4" STEEL LANDSCAPE EDGE

NO SCALE

DECIDUOUS TREE PLANTING

SCALE: NONE



EVERGREEN TREE PLANTING

SCALE: NONE

PLANTING LIST

LANDSCAPE NOTES

DESCRIPTION

THIS WORK SHALL CONSIST OF PROVIDING ALL NECESSARY MATERIALS, LABOR, EQUIPMENT, TOOLS AND SUPERVISION REQUIRED FOR THE EXECUTION AND GUARANTEE OF ALL PLANTINGS AND RELATED WORK AS SHOWN ON THE DRAWINGS.

PLANT MATERIALS SHALL CONFORM TO THE SIZES STATED ON THE PLANT LIST AND SHALL BE OF A MINIMUM SIZE OR LARGER. ALL MEASUREMENTS OF SPREAD, CALIPER, BALL SIZE, TRUNK CROWN RATIO, QUALITY DESIGNATIONS, ETC., SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "ANSI STANDARDS FOR NURSERY STOCK". PLANT MATERIAL SHALL BE NURSERY GROWN AND INSPECTED BY THE OWNER'S REPRESENTATIVE AT THE SITE PRIOR TO PLANTING. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL AT ANY TIME.

NURSERY STOCK SHALL BE PREPARED FOR SHIPMENT IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT ANSI SPECIFICATION Z60.1 AND SHALL BE ENCLOSED OR COVERED DURING TRANSPORTATION TO PREVENT DRYING.

SITE PREPARATION

THE CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND PROTECT AND REPAIR UTILITIES ENCOUNTERED DURING CONSTRUCTION WHETHER SHOWN ON THE PLANS OR NOT.

INDIVIDUAL HOLES SHALL BE CENTERED AT STAKED PLANT LOCATIONS. CONTRACTOR IS TO STAKE PRIOR TO PLACEMENT OF PLANT MATERIAL AND OBTAIN APPROVAL FROM THE OWNER'S REPRESENTATIVE. PLANTING HOLES SHALL BE DUG LARGE ENOUGH TO PERMIT PLACING PREPARED TOPSOIL 18" LATERALLY BEYOND THE ENDS OF THE ROOT BALLS FOR SHADE AND EVERGREEN TREES AND 6" LATERALLY FOR SHRUBS UNLESS OTHERWISE SPECIFIED.

EXCAVATED MATERIAL SHALL BE REMOVED FROM THE SITE AT THE TIME THE HOLE IS DUG. THE PLANTING HOLE SHALL BE BACKFILLED WITH PREPARED TOPSOIL THE SAME DAY THEY ARE DUG. TOPSOIL SHALL AT FERTILE, FRIABLE NATURAL TOPSOIL OF CLAY LOAM CHARACTER CONTAINING AT LEAST 5% BUT NOT MORE THAN 20% BY WEIGHT OF ORGANIC MATTER WITH A PH RANGE FROM 6.0 TO 7.0. TOPSOIL SHALL BE FREE OF CLAY LUMPS, COARSE SAND, STONES, PLANT ROOTS, STICKS OR OTHER FOREIGN MATTER.

NATIVE SEED MIX PLANTING AREA SHALL BE CLEAN, FIRM, AND FREE OF ALL LIVING VEGETATION, OR VEGETATION THAT WILL GERMINATE IN THE NEXT TWO SEASONS. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE GUIDELINES FOR PROPERLY PREPARING A NATIVE SEED APPLICATION SITE (REFERENCED IN THE NATIVE SEED MIX NOTES) TO ENSURE A SUCCESSFUL PLANTING.

CARE FOR PLANTS BEFORE PLANTING

PLANTS DESIGNATED "BB" SHALL BE BALLED AND BURLAPPED WITH FIRM NATURAL BALLS OF EARTH. CRACKED, LOOSENED OR BROKEN BALLS SHALL NOT BE PLANTED. THEY SHALL BE MARKED WITH SPRAY PAINT AND IMMEDIATELY REMOVED FROM THE JOB SITE. IMMEDIATELY FOLLOWING DELIVERY AT THE JOB SITE, ALL PLANTS THAT WILL NOT BE PLANTED THAT SAME DAY SHALL BE "HEELLED IN" WITH SHREDDED BARK OR MOIST SOIL AND KEPT MOIST UNTIL PLANTED.

THE TRUNKS AND BRANCHES OF ALL TREES SHALL BE PROTECTED FROM INJURY OF ANY KIND DURING ALL OPERATIONS. THE OWNER'S REPRESENTATIVE SHALL REJECT ANY TREES THAT ARE INJURED.

PLANTING

THE CONTRACTOR IS RESPONSIBLE FOR PLANTING MATERIALS PLUMB. SET THE TOP OF THE ROOT BALL AT 5" TO GIVE THE BEST APPEARANCE OR RELATIONSHIP TO ADJACENT STRUCTURES. NO FILLING WILL BE PERMITTED AROUND TRUNK OR STEMS. WHEN THE PLANT HAS BEEN PROPERLY SET, THE HOLE SHALL BE BACKFILLED TO 1/2 THE DEPTH OF THE BALL WITH PREPARED TOPSOIL MIXTURE, FIRMLY PACKED AND WATERED-IN AT TIME OF PLANTING. LOOSED AND REMOVE BURLAP AND LACING FROM UPPER 1/3 OF THE ROOT BALL. BACKFILL WITH PREPARED TOPSOIL, WHICH AFTER COMPACTION IS FLUSH WITH THE SURROUNDING GROUND.

MULCHING

NATURAL COLOR, FINELY SHREDDED HARDWOOD BARK MULCH REQUIRED FOR ALL PLANTINGS. 4-INCH THICK BARK MULCH FOR TREES IN 4-FOOT DIAMETER CIRCLE WITH 3-INCH PULLED AWAY FROM TRUNK. 3-INCH BARK MULCH FOR SHRUBS AND 2-INCH THICK REGIONAL LEAF COMPOST FOR PERENNIALS. THE REGIONAL LEAF COMPOST WILL ALLOW THE PERENNIALS TO MATURE AND GROW TOGETHER, WHICH OVER TIME WILL REDUCE THE NEED FOR MULCH.

WRAPPING DECIDUOUS TREES

WRAPPING TO START AT TOP AND OVERLAP IN A DOWNWARD WRAP IN ORDER TO PREVENT WATER FROM BECOMING TRAPPED BETWEEN THE WRAPPING AND THE BARK OF THE TREE. TIE WITH TWINE IN 5 PLACES, INCLUDING THE TOP AND BOTTOM OF WRAPPING. MASKING TAPE OR WIRE WILL NOT BE ALLOWED.

STEEL LANDSCAPE EDGING

4" STEEL LANDSCAPE EDGING SHALL BE USED ON THIS PROJECT. ALUMINUM OR PLASTIC EDGING WILL NOT BE ALLOWED. LANDSCAPE EDGING MAY BE OMITTED IF PERENNIAL BEDS DO NOT ADJUT TURF GRASS AREAS.

PRUNING

UPON COMPLETION, ALL PLANT MATERIAL MUST BE PRUNED. THE AMOUNT OF PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD OR INJURED BRANCHES AND TO COMPENSATE FOR THE LOSS OF ROOTS FROM TRANSPANTING. ALL CUTS SHALL BE MADE LEAVING NO STUBS. PRUNING PAINT SHALL NOT BE USED.

FINISHING AND CLEANING UP

IMMEDIATELY UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL CLEAN UP THE AREA OF SURPLUS MATERIALS. THE CONTRACTOR SHALL REPAIR AND RE-ESTABLISH TURF IN RUTTED AREAS.

WARRANTY

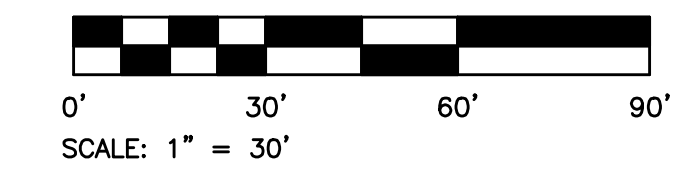
THE LANDSCAPE INSTALLATION CONTRACTOR SHALL REPLACE ALL UNHEALTHY VEGETATION AND PLANTINGS WITHIN ONE (1) UPON APPROVAL OF CITY OF NOVI REPRESENTATIVE. ALL UNHEALTHY AND DEAD MATERIAL SHALL BE REPLACED WITHIN ONE YEAR, OR THE NEXT APPROPRIATE PLANTING PERIOD, WHICHEVER COMES FIRST.

CITY OF SOUTHGATE NOTE

MATERIALS AND INSTALLATION SHALL FOLLOW AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.

GENERAL NOTES

- LANDSCAPE CONTRACTOR TO PROVIDE DESIGN AND INSTALLATION OF UNDERGROUND IRRIGATION SYSTEM IN ACCORDANCE WITH PROJECT SPECIFICATIONS AND REGULATORY AGENCY REQUIREMENTS. ALL LANDSCAPING AND GRASS AREAS TO BE IRRIGATED. IRRIGATION CONTROL PANEL SHALL BE LOCATED WITHIN THE BUILDING.
- ALL GREEN SPACES AND PLANTING AREAS SHALL BE IRRIGATED.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE ALL PERMITS AND POST ALL BONDS PRIOR TO CONSTRUCTION.
- REFER TO PLUMBING PLANS FOR LOCATION OF IRRIGATION METER.
- ALL GRASS AREAS TO BE SODDED.
- SPACE ALL SHRUBS AT 5- FEET ON CENTER UNLESS OTHERWISE INDICATED ON THE PLANS
- ALL DISTURBED LAWN AREAS SHALL BE RESTORED TO AT LEAST PREVIOUS CONDITION IN ACCORDANCE WITH PROJECT SPECIFICATIONS.
- THE EARTHWORK CONTRACTOR SHALL INCLUDE TOPSOIL IN BASE BID. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE AMOUNT OF TOPSOIL AVAILABLE ON-SITE.



TRIUMPH

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STATE OF MICHIGAN
ANDREW ANDRE
ENGINEER
No. 6201047380
LICENSED PROFESSIONAL ENGINEER

PREPARED UNDER THE DIRECTION OF:
ANDREW ANDRE, P.E.
MI #47380

APPLICANT:
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CITY OF SOUTHGATE, WAYNE COUNTY, MICHIGAN

HOMEWOOD SUITES

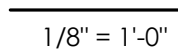
THIS PLAN AND SPECIFICATIONS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.

ISSUED FOR	DATE
SPA	08/18/2025
DRAWN: ACA	
CHECKED: ACA	
SCALE: 1"=30'	
JOB NO: TE-25-152	
SHEET TITLE: LANDSCAPE PLAN	
SHEET	
L1.0	

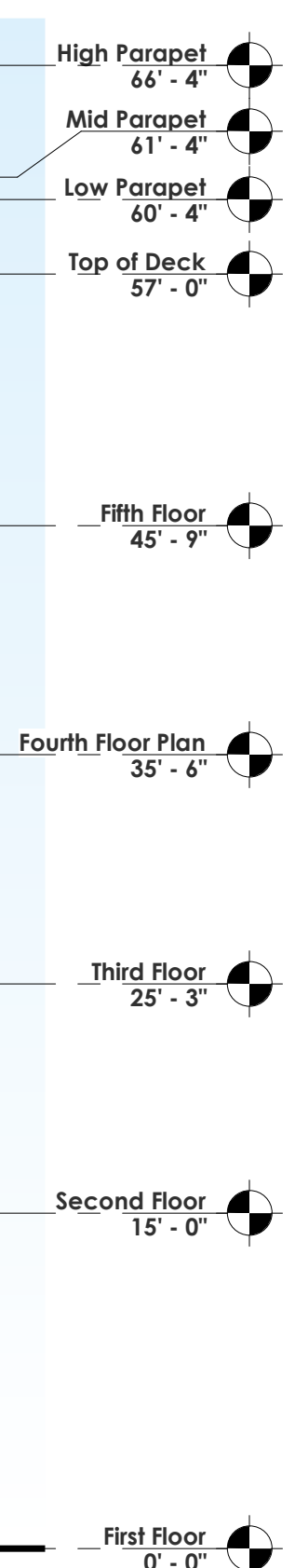
1/8" = 1'-0"

SPA.102

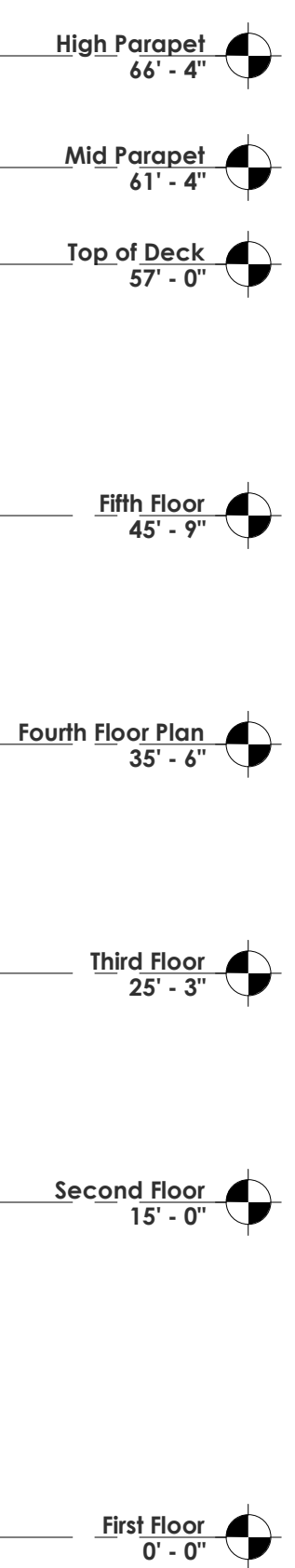
FIFTH FLOOR	
KING STUDIO SUITE	10
KING STUDIO SUITE ADA (TUB)	0
KING STUDIO SUITE ADA (ROLL-IN)	0
EFFICIENCY SUITE	2
EFFICIENCY SUITE ADA (TUB)	0
DOUBLE QUEEN STUDIO SUITE	8
DOUBLE QUEEN STUDIO SUITE DELUXE	2
DOUBLE QUEEN EFFICIENCY SUITE	4
KING ONE-BEDROOM SUITE	0
KING ONE-BEDROOM SUITE ADA (TUB)	0
FIFTH FLOOR UNITS	26 TOTAL
TOTAL UNITS	114 TOTAL



SPA.104



2 Wes
SPA.100 1/8" = 1'-0"



1 South
SPA.100 1/8" = 1'-0"

- | | |
|-----|--|
| 1. | STOREFRONT GLAZING SYSTEM |
| 2. | STEEL-FRAMED CANOPY W/ METAL FASCIA |
| 3. | PRE-FIN METAL PARAPET CAP |
| 4. | PANELIZED METAL ENTRY FRAME |
| 5. | FASCIA BOARD - FINISH TBD |
| 6. | ALUMINUM WINDOWS |
| 7. | ARCHITECTURAL LOUVER |
| 8. | BUILDING SIGNAGE LOCATION (BY OTHERS) |
| 9. | SLIDING MAIN ENTRY DOOR |
| 10. | H.M. EXTERIOR DOOR |
| 11. | EIFS REVEAL - TYP. |
| 12. | PANELIZED METAL SOFFIT BOARD |
| 13. | RTU SCREENING SYSTEM - FINAL SELECTION TBD |
| 14. | CANTILEVERED ALUMINUM CANOPY |

	M-1	DESCRIPTION: E.J.F.S / STUCCO (COLOR 1) MANUF: TBD COLOR: TBD FINISH: SMOOTH / MONOLITHIC
	M-2	DESCRIPTION: E.J.F.S / STUCCO (COLOR 2) MANUF: TBD COLOR: TBD FINISH: SMOOTH / MONOLITHIC
	M-3	DESCRIPTION: BRICK VENEER (COLOR 1) MANUF: TBD COLOR: TBD FINISH: TBD
	M-4	DESCRIPTION: BRICK VENEER (COLOR 2) MANUF: TBD COLOR: TBD FINISH: TBD
	M-5	DESCRIPTION: METAL PANEL MANUF: TBD COLOR: TBD FINISH: TBD
	M-6	DESCRIPTION: PANELIZED / MONOLITHIC MATERIAL MANUF: TBD COLOR: TBD FINISH: TBD
	M-7	DESCRIPTION: COPING, BREAK MTL. MISC. MANUF: PAC-CLAD MATERIAL: 0.050 PRE-FIN STEEL COLOR: GRAPHITE / KTYNAR 500 NOTE: COPING, BREAK MTL. MISC.
	M-8	DESCRIPTION: ALUMINUM CANOPY W/ FASCIA MANUF: TBD COLOR: TBD FINISH: TBD

[illegible]

A circular professional seal for the State of Michigan. The outer ring contains the text "STATE OF MICHIGAN" at the top and "LICENSED ARCHITECT" at the bottom, separated by stars. The center of the seal contains the name "JASON P. KRIEGER", the title "ARCHITECT", and the license number "No. 53578". A stylized signature is written across the seal.

North Arrow:

SPA.200



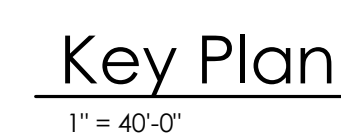


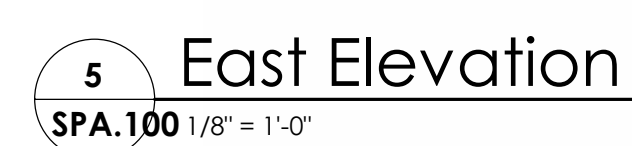
1. STOREFRONT GLAZING SYSTEM
2. STEEL-FRAMED CANOPY W/ METAL FASCIA
3. PRE-FIN METAL PARAPET CAP
4. PANELIZED METAL ENTRY FRAME
5. FASCIA BOARD - FINISH TBD
6. ALUMINUM WINDOWS
7. ARCHITECTURAL LOUVRE
8. BUILDING SIGNAGE LOCATION (BY OTHERS)
9. SLIDING MAIN ENTRY DOOR
10. H.M. EXTERIOR DOOR
11. EIFS REVEAL - TYP.
12. PANELIZED METAL SOFFIT BOARD
13. RTU SCREENING SYSTEM - FINAL SELECTION TBD
14. CANTILEVERED ALUMINUM CANOPY

	M-1	DESCRIPTION: E.I.F.S / STUCCO [COLOR 1] MANUF: TBD COLOR: TBD FINISH: SMOOTH / MONOLITHIC
	M-2	DESCRIPTION: E.I.F.S / STUCCO [COLOR 2] MANUF: TBD COLOR: TBD FINISH: SMOOTH / MONOLITHIC
	M-3	DESCRIPTION: BRICK VENEER [COLOR 1] MANUF: TBD COLOR: TBD FINISH: TBD
	M-4	DESCRIPTION: BRICK VENEER [COLOR 2] MANUF: TBD COLOR: TBD FINISH: TBD
	M-5	DESCRIPTION: METAL PANEL MANUF: TBD COLOR: TBD FINISH: TBD
	M-6	DESCRIPTION: PANELIZED / MONOLITHIC MATERIAL MANUF: TBD COLOR: TBD FINISH: TBD
	M-7	DESCRIPTION: COPING, BREAK MTL., MISC. MANUF: PAC-CLAD MATERIAL: 0.050 PRE-FIN STEEL COLOR: GRAPHITE - KYNAR 900 NOTE: COPING, BREAK MTL., MISC.
	M-8	DESCRIPTION: ALUMINUM CANOPY W/ FASCIA MANUF: TBD COLOR: TBD FINISH: TBD

[illegible]

SPA.201





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| 1. | STOREFRONT GLAZING SYSTEM |
| 2. | STEEL-FRAMED CANOPY W/ METAL FASCIA |
| 3. | PRE-FIN METAL PARAPET CAP |
| 4. | PANELIZED METAL ENTRY FRAME |
| 5. | FASCIA BOARD - FINISH TBD |
| 6. | ALUMINUM WINDOWS |
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| 9. | SLIDING MAIN ENTRY DOOR |
| 10. | H.M. EXTERIOR DOOR |
| 11. | EFS REVEAL - TYP. |
| 12. | PANELIZED METAL SOFFIT BOARD |
| 13. | RTU SCREENING SYSTEM - FINAL SELECTION TBD |
| 14. | CANTILEVERED ALUMINUM CANOPY |

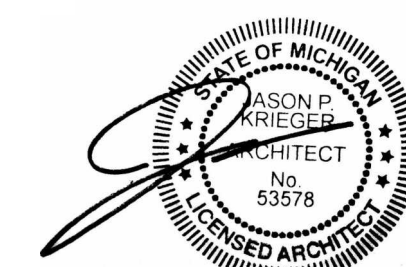
	M-1	DESCRIPTION: E.L.F.S / STUCCO [COLOR 1] MANUF: TBD COLOR: TBD FINISH: SMOOTH / MONOLITHIC
	M-2	DESCRIPTION: E.L.F.S / STUCCO [COLOR 2] MANUF: TBD COLOR: TBD FINISH: SMOOTH / MONOLITHIC
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	M-8	DESCRIPTION: ALUMINUM CANOPY W/ FASCIA MANUF: TBD COLOR: TBD FINISH: TBD

Client:
Premier Hospitality

Project:
Homewood Suites - Southgate

[illegible]

Seal:



Note:

Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North Arrow:

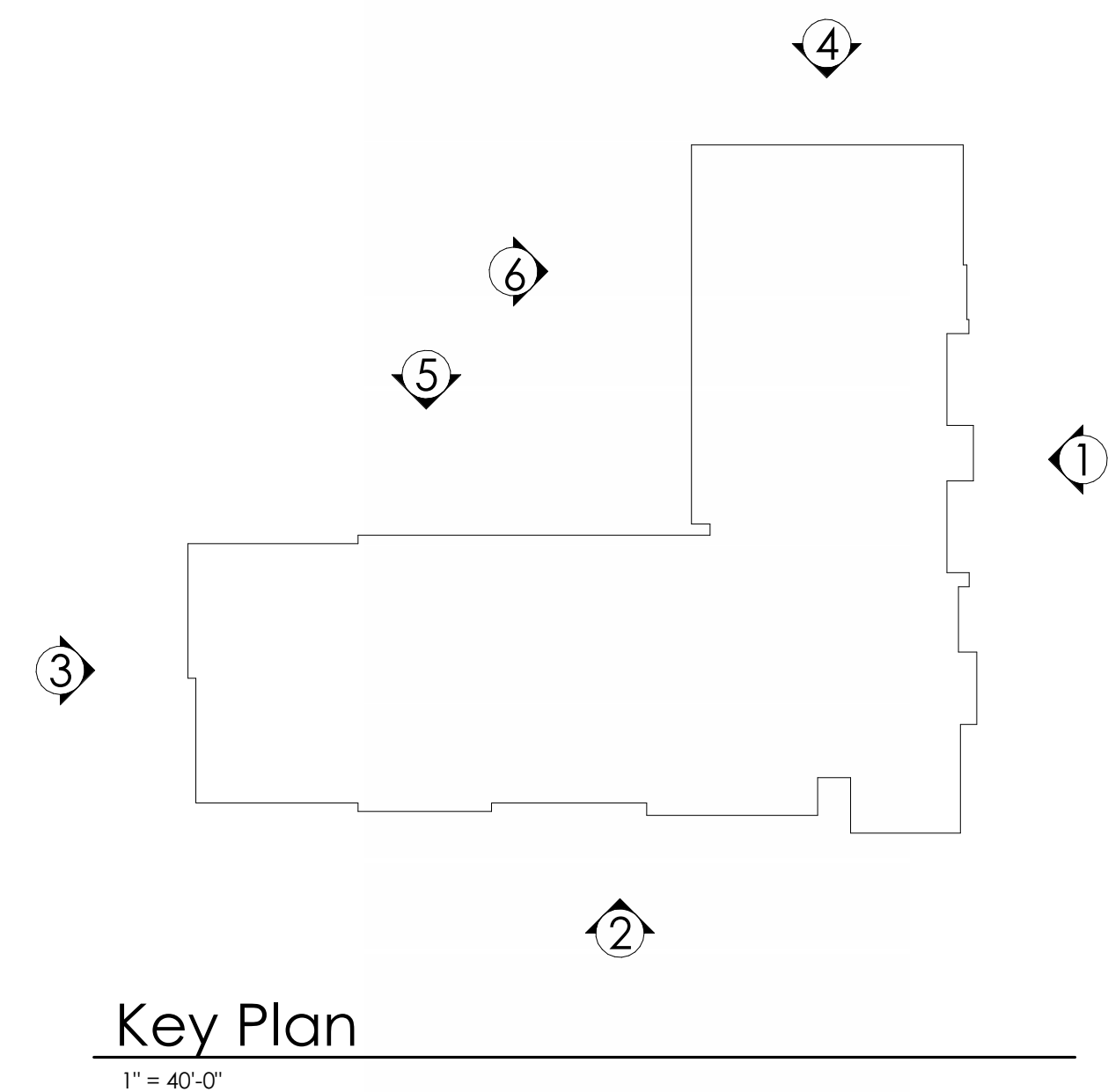
Sheet Title:
Elevations

Project Number:
25-008

Scale:
As indicated

Sheet Number:

SPA.202



Client:
Premier Hospitality

[illegible]

A circular professional seal for the State of Michigan. The outer ring contains the text "STATE OF MICHIGAN" at the top and "LICENSED ARCHITECT" at the bottom, separated by stars. The inner circle contains the name "JASON P. KRIEGER" and the license number "No. 53578". A stylized signature is written across the seal.

Do not scale drawings. Use
calculated dimensions only.
Verify existing conditions in
field.

Enlarged Unit
Plans - King
Studio Suite ADA
Project Number: _____

Sheet Number: _____

SPA.30



1
SPA.101

Client:
Premier Hospitality

[illegible]

A circular professional seal for the State of Michigan. The outer ring contains the text "STATE OF MICHIGAN" at the top and "LICENSED ARCHITECT" at the bottom, separated by stars. The inner circle contains the name "JASON P. KRIEGER" and the license number "No. 53578". A stylized signature is written across the seal.

Sheet Title: _____
 Enlarged Unit
 Plans - Efficiency
 Suite
 Project Number: _____
 25-008
 Scale: _____
 1/2" = 1'-0"
 Sheet Number: _____





Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

October 1, 2025

Site Plan Review

City of Southgate, Michigan

APPLICANT: Southgate Superior Hospitality, LLC

ADDRESS: 985 W. Entrance Drive
Auburn Hills, MI 48326

PARCEL ADDRESS/ID: 12790 Reeck Road
53-004-99-0005-706

CURRENT ZONING: M-1, Light Industrial-Research
HOD, Hotel Overlay District

ACTION REQUESTED: Site Plan Review

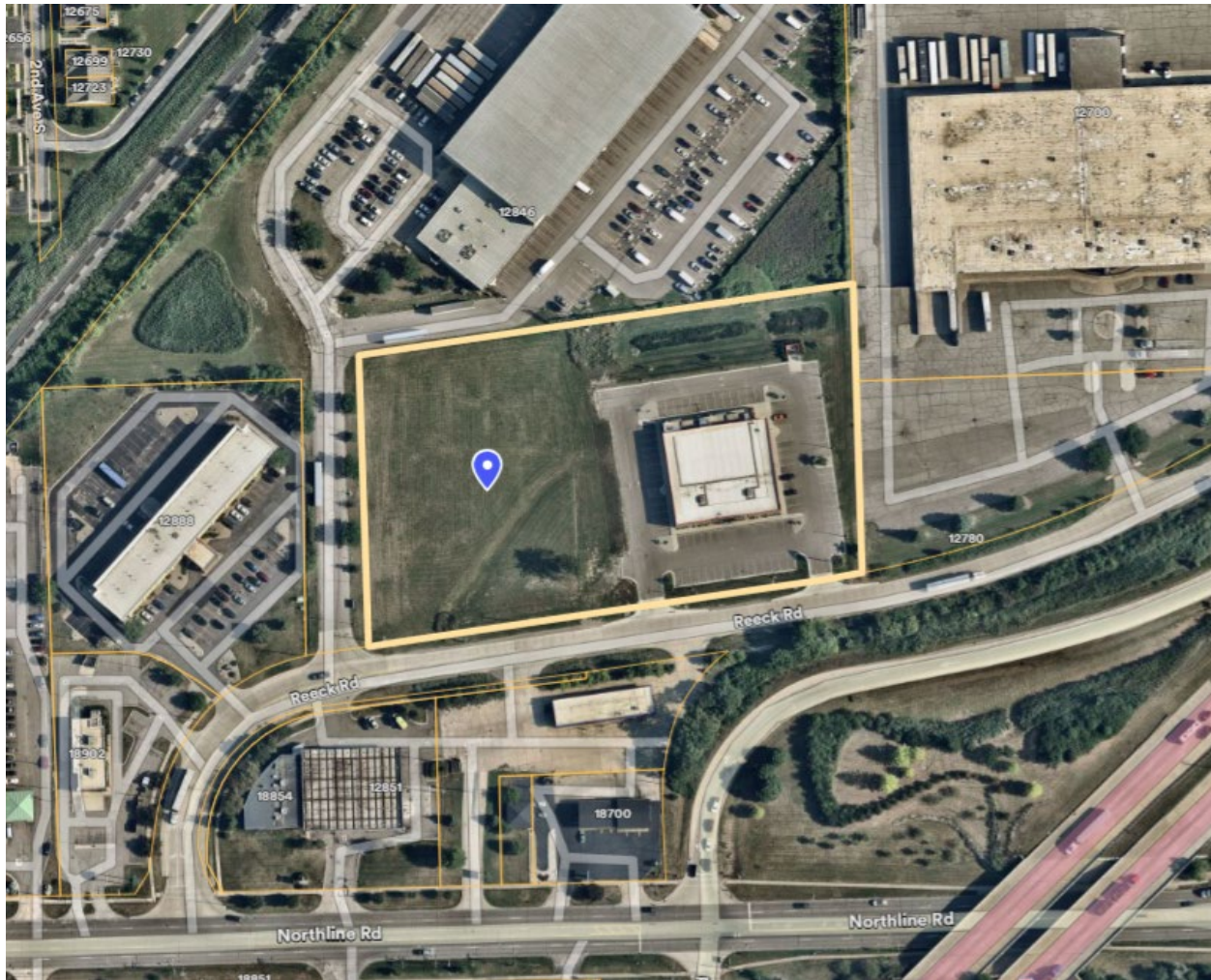
PROJECT AND SITE DESCRIPTION

The City is in receipt of a site plan review application for the above address. The applicant has requested to develop the vacant portion of the property with a new Homewoods Suites hotel establishment. The size of the development area measures 2.75 acres in size. The parcel is currently zoned M-1, Light Industrial-Research and is located within the Hotel Overlay District (HOD) where Hotel establishments are a permitted use, subject to additional conditions which are outlined later within this report.

During the August 11, 2025, regular Board of Zoning Appeals (BZA) meeting, the project was granted a dimensional height variance of seventeen (17) feet, allowing for a total height of sixty (60) feet.

Benjamin R. Carlisle, *President* John L. Enos, *Vice President*
Paul Montagno, *Principal* Megan Masson-Minock, *Principal* Laura Kreps, *Principal* Brent Strong, *Principal*
David Scurto, *Principal* Sally M. Elmiger, *Principal* Craig Strong, *Principal* Douglas J. Lewan, *Principal*
Richard K. Carlisle, *Past President/Senior Principal* R. Donald Wortman, *Past Principal*

Figure 1. Aerial View of Property



Source: Nearmap, aerial photo date August 2025

AREA, WIDTH, HEIGHT, SETBACKS

The table below shows the Hotel Overlay District requirements based on the requirements of section 1289.05 and 1298.01:

	<u>Required</u>	<u>Provided</u>	<u>Meets Requirement</u>
Lot Area	N/A	2.75 Acres	Yes
Lot Width	N/A	357 Feet	Yes
Setbacks			
Front	25 feet	70+ Feet	Yes
Side	20 feet	30+ Feet	Yes
Rear	20 feet	30+ Feet	Yes
Building Height	40 feet Maximum	60 Feet	Yes (Variance)

Items to be Addressed: None.

ZONING AND LAND USE

Surrounding zoning and existing land uses are summarized in the table below.

Table 2. Zoning and Land Use

	Existing Land Use	Surrounding Zoning
Site	• Vacant	• M-1, Light Industrial
North	• Light Industrial	• M-1, Light Industrial
East	• Range USA	• M-1, Light Industrial
West	• La Quinta Inn	• M-1, Light Industrial
South	• Car Wash/Gas Station	• C-2, General Business

Items to be Addressed: None.

BUILDING LOCATION AND SITE ARRANGEMENT

The proposed hotel is located west of the existing Range USA along Reeck Road and is shown to be approximately in line with Range USA in terms of setbacks. The building is located in the center of the project area, with parking facilities located on all sides of the building. A patio is also proposed on the northeast side of the building, as well as a dumpster enclosure and storage building located in the northeast corner of the site.

Items to be Addressed: None.

PARKING, LOADING

Motel, hotel, or other commercial lodging establishments are required to provide *“One space for each one occupancy unit, plus one additional space for each ten occupancy units, plus parking for accessory uses.”*

Based on the 114 proposed rooms, 125 spaces including five (5) barrier-free parking space is required. The proposed number of spaces meets this requirement with 131 spaces proposed, including the required number of barrier-free spaces.

Loading areas within industrial districts are required based on gross floor area of the principal building, which has not been provided. The applicant has indicated that minimal deliveries are anticipated. We ask the applicant to provide a brief summary of anticipated deliveries.

A summary of parking and loading requirements per section 1292.02 is located within the table below.

	Requirement	No. of Spaces Required & Other	No. Spaces Provided & Other
Off-street parking spaces	1 space for each room 1 additional space for each 10 rooms	125 spaces	126 spaces
Barrier Free	1 space per 25 parking spaces	5 spaces	5 spaces
Maneuvering Lane Width	22 feet	-	24 feet
Size of parking space/width & length	Length – 19 feet Width – 10 feet	-	Length – 19 feet Width – 9 feet
Loading spaces	1,401 – 20,000 sf	1 space	Not provided

Section 1292.03 requires maneuvering lane width for 90-degree parking to measure at least twenty-two (22) feet. Current plan shows and exceeds this measurement, showing maneuvering lane widths of twenty-four (24) feet. Parking space dimensions require minimum of ten (10) feet by nineteen (19) feet, to which proposed dimensions show 9x19 feet. The width of all parking spaces will need to be increased to ten (10) feet, which may reduce the number of spaces proposed.

Items to be Addressed: 1) Clarify anticipated delivery activities. 2) Increase parking space width to ten (10) feet.

SITE ACCESS AND CIRCULATION

Site Access: The proposed hotel will be accessed via two (2) twenty-four (24) foot wide access drives along Reeck Road. Please note any work performed in the Reeck Road right of way will require City approval.

Circulation: Maneuvering lane widths are based on the angle of parking spaces. 90-degree spaces are proposed, where maneuvering lanes are required to be twenty-two (22) ft. in width, whereas mentioned earlier, current measurements exceed ordinance requirements. Emergency vehicle turning radii are not shown, for which we ask the applicant to provide. We defer further review of site access and circulation to the City Fire Department and Engineer.

Waste/Dumpster Enclosure: A dumpster enclosure eight (8) feet in height is proposed on the northeast corner of the site. A storage building is also proposed next to the enclosure. Both the dumpster and the enclosure should match the materials of the hotel.

Items to be Addressed: 1) Provide emergency vehicle turning radii. 2) Fire Department approval of site access and circulation. 3) City Engineer approval of site access and circulation.

UTILITIES

A utility plan for the site has been provided on sheet C5.0. Water, Sanitary Sewer, electric, and stormwater connections are proposed. We defer further review of all proposed utilities to the City Engineer.

Items to be Addressed: City Engineer approval of proposed utility connections.

LANDSCAPING

A landscape plan has been provided on sheet L1.0.

Street Trees: Eight (8) deciduous trees are proposed along Reeck Road on the southern portion of the site. All proposed plantings are required to meet all current American Association of Nurserymen standards, and a note confirming this requirement has been provided.

Parking Lot: Eleven (11) deciduous and twenty-five (25) evergreen trees are shown within and around the parking lot area, along with 119 shrubs of varying types and 138 perennial plantings are also shown around the site.

Section 1298.09 states *“Development which occurs in a nonresidential district shall provide, in addition to any existing or proposed street right of way, at least ten percent of the net site area (exclusive of buildings, off-street parking areas, etc.) as landscaped open space.”* Current plans show a calculation of 30%, meeting ordinance requirements.

Per section 1298.09, a landscape plan shall also consist of planting cross-section details, as well as planting size and spacing dimensions, all of which are provided on the current landscape plan. Plan notes also indicate the site will be properly irrigated. The applicant shall also provide the City with a landscape guarantee covering the cost estimate of all new plantings.

Items to be Addressed: *Provide landscape guarantee to City.*

LIGHTING

A photometric plan has been provided on sheet C3.1. Fixture details have also been provided. Nine (9) freestanding light poles measuring at approximately twenty-two (22.5) feet in height and sixteen (16) illuminated bollards around the building are proposed. All proposed lighting meets ordinance requirements.

Items to be Addressed: *None.*

SIGNS

Plans show a freestanding sign near the western Reeck Road entrance. Building elevations also indicate a wall sign will be located on the southern elevation of the building facing Reeck Road. When the applicant is ready to submit a signage package at a later date, a submitted and approved application through the City Building Department is required.

Items to be Addressed: *Submit signage permit through building department prior to installation.*

FLOOR PLAN AND ELEVATIONS

Dimensioned Floor plans and elevations of all buildings have been provided. The proposed exterior building materials appear to consist of Building Department approved materials, and uniform architectural design and materials are present on all sides of the building. We defer final approval of building materials to the City Building Department.

Items to be Addressed: *Building Department approval of exterior materials.*

HOTEL OVERLAY REQUIREMENTS

Section 1289.05 outlines additional conditions for hotels proposed within the Hotel Overlay District. The applicable requirements of this section are listed below:

1. **The minimum setback requirements for the principal use shall be as required by the C-2, General Business District.**

CWA Comment: The setbacks of the C-2 district have been met.

2. **The maximum height shall be 40 feet, with no maximum story requirement.**

CWA Comment: The current height of the building is set at sixty (60) feet. A variance through the Board of Zoning Appeals has been granted for the increased height.

3. **Off-street parking shall be provided and shall be laid out as provided in this section and in Chapter 1292.**

CWA Comment: All proposed off-street parking meets the requirements outlined in chapter 1292, except for loading area, which will require further clarification from the applicant.

4. **Off-street parking may be located in a front yard and in an exterior side yard to a point 20 feet from the street right-of-way line. Off-street parking may be located in a rear yard and in an interior side yard, except when these yards abut a Residential District. No off-street parking shall be permitted within the minimum required setback.**

CWA Comment: Off-street parking on the southern portion of the site along Reeck Road is located outside the front yard setback. No further action is needed.

5. **Whenever off-street parking is required to be set back from a property line, the setback shall be landscaped and all landscaping shall be maintained in a living, growing condition, neat and orderly in appearance.**

CWA Comment: All yards are shown to be landscaped in a neat and orderly manner.

6. **The intensity of all exterior lighting shall be of a type that shall not present a potential safety hazard to traffic on adjoining streets, nor shall any such lighting adversely impact abutting properties. All lighting shall be shielded and directed downward. Properties adjacent to residential uses shall install dimmers to reduce parking lot lighting from dusk to dawn.**

CWA Comment: Fixture details provided indicate exterior lighting will be downshielded. We are of the opinion that the current orientation of lighting will not have adverse effects on surrounding properties.

RECOMMENDATION

Based on the information provided, we recommend conditional approval of the presented site plan for the proposed hotel establishment, with the following items listed below as conditions to be satisfied.

1. Clarify anticipated delivery activities.
2. Increase parking space width to ten (10) feet.
3. Provide emergency vehicle turning radii.
4. Fire Department approval of site access and circulation.
5. City Engineer approval of site access and circulation.
6. City Engineer approval of proposed utility connections.
7. Provide landscape guarantee to City.
8. Submit signage permit through building department prior to installation.
9. Building Department approval of exterior materials.



CARLISLE/WORTMAN ASSOC., INC.
John L. Enos, AICP
Vice-President



CARLISLE/WORTMAN ASSOC., INC.
Joe Pezzotti
Community Planner